



CITY OF TITUSVILLE
DEVELOPMENT REVIEW COMMITTEE (DRC)
City Hall Council Chamber
555 South Washington Avenue, Titusville, FL 32781
January 29, 2026 at 10:30 am

NOTICE

All persons who anticipate speaking on any Public Hearing item must fill out an Oath Card to be heard on that agenda item and sign the oath contained thereon. These cards are located on the table near the entrance to the Council Chamber or may be obtained from the Recording Secretary. This meeting will be conducted in accordance to the procedures adopted in Resolution # 24-1997.

Those speaking in favor of a request will be heard first, those opposed will be heard second, and those who wish to make a public comment on the item will speak third. The applicant may make a brief rebuttal if necessary. A representative from either side, for or against, may cross-examine a witness.

Anyone who speaks is considered a witness. If you have photographs, sketches, or documents that you desire for the Commission to consider, they must be submitted into evidence and will be retained by the City. Please submit such exhibits to the Recording Secretary.

Applicants for land use and zoning related items are advised that the resumes of staff members who prepare applicable staff reports are on file in the City Clerk's Office.

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **DETERMINATION OF A QUORUM**
5. **APPROVAL OF MINUTES**
6. **QUASI-JUDICIAL CONFIRMATION PROCEDURES**
 - a. **Verify all persons wishing to speak before the committee has signed an Oath Card.**
 - b. **Chairman confirms that all agenda items have been properly advertised.**
 - c. **Member's statements if they have visited any of the sites, or spoken to any members of the public regarding an item to be reviewed today.**
7. **OLD BUSINESS**
8. **NEW BUSINESS**
 - a. **DRC #1-2026 – Discussion of a requested waiver to the minimum number of parking spaces in the City's Transportation Infrastructure Technical Design Manual Section 9.16.4 for property located south of Cheney Highway at the terminus of Hickory Hill Boulevard containing Parcel ID 22-35-29-AV-*-8.01**
 - b. **DRC #2-2026 - Discussion of a requested waiver to the minimum force main size requirements in the City's Water Resources Department Technical Specifications Section 5.20 for property located southeast of Golden Knights Boulevard and Tico Road containing Parcel IDs 23-35-02-01-*-90 and 23-35-02-01-*-77**

- c. DRC #3-2026 - Discussion of a requested waiver to the minimum force main size requirements in the City's Water Resources Department Technical Specifications Section 5.20 for property located at 4860 Barna Avenue
- d. DRC #4-2026 - Discussion of a requested waiver to the minimum force main size requirements in the City's Water Resources Department Technical Specifications Section 5.20 for property located at 4880 Barna Avenue

9. PUBLIC COMMENT

10. ADJOURNMENT

Any person who decides to appeal any decision of the Development Review Committee, with respect to any matter considered at this meeting, will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City desires to accommodate persons with disabilities. Accordingly, any physically handicapped person, pursuant to Chapter 286.26 *Florida Statutes*, should at least 48 hours prior to the meeting, submit a written request to the chairperson of the meeting that the physically handicapped person desires to attend.

***Development Review Committee
September 18, 2025***

The Development Review Committee (DRC) of the City of Titusville, Florida met in session in Council Chambers located at 555 South Washington Avenue on Thursday, September 18, 2025 at 2:00 p.m.

XXX

Chairman and City Engineer Kwabena Ofosu called the meeting to order at 2:00 p.m. Present were City Engineer Ashleigh Smith, Senior Planner Christie Anderson, Fire Marshal Michael Shervington and Building Plans Manager. Also present was Deputy Community Development Director Mandy Lamothe and Recording Secretary Kim Amick.

XXX

Member Shervington made a motion to approve the September 4, 2025 meeting minutes as presented. Member Anderson seconded. There was a unanimous voice vote in favor.

XXX

New Business

DRC #13-2025 – Hendrix Eye Care – 300 Cheney Highway

Ms. Lamothe read the staff report.

The waiver requested is as follows:

The applicant is requesting the Development Review Committee (DRC) to grant the following waiver:

1. To the criteria specified in the City's Transportation Infrastructure Technical Design Manual Chapter 9 – Transportation Infrastructure, Section 9.17.1.1 which establishes the minimum parking space dimensions for development within the City.

The purpose of the request is for the development of a medical office on the subject property. The project is currently under site plan review.

XXX

Member Flack made a motion to approve the waiver request for DRC#13-2025 – 300 Cheney Highway – Hendrix Eye Care. Member Shervington seconded.

Roll call was as follows:

Member Anderson Yes

*Development Review Committee
September 18, 2025*

Member Smith	Yes
Chairman Ofosu	Yes
Member Shervington	Yes
Member Flack	Yes

Motion passed.

XXX

Public Comment

None

XXX

Adjournment 2:13 p.m.

DRAFT



City of Titusville

Staff Report

DEVELOPMENT REVIEW COMMITTEE (DRC) - #1-2026

Waiver Request for Culver's Parking Expansion - South of Cheney Highway at the terminus of Hickory Hill Boulevard

Meeting Date:	January 29, 2026
Prepared By:	Mandy Lamothe, Deputy Community Development Director
Applicant(s):	Shamus Schroeder, PE
Applicant's Request:	To allow more than the minimum required parking space count
Staff Recommendation:	Consideration of the proposed waiver request

Background Information

The applicant, Shamus Schroeder, is requesting the Development Review Committee (DRC) grant the following waiver:

1. To the criteria specified in the City's Transportation Infrastructure Technical Design Manual Chapter 9 – Transportation Infrastructure, Section 9.16.4 which establishes the minimum parking space count for a development.

Waiver Criteria

Pursuant to Section 34-286 of the Code, the DRC has the authority to waive this requirement using the following review criteria specified in Section 34-288:

1. The alternative standards promotes flexibility and environmental soundness in layout and design; or
2. The proposed new standards are appropriate to the proposed type of development; or
3. The property exhibits physical constraints that prevent the implementation of provisions of the City's technical manuals and the waiver would allow the implementation of the code provision to the greatest extent possible; or
4. The waiver would be based on the latest best professional practices that would not be possible in implementing the code provision.

Analysis

The applicant has requested a waiver to allow more than the maximum number of parking spaces for a parking lot expansion for Culver's due to parking demand. The proposal is currently under site plan review. The site plan includes construction of an additional 31 parking spaces – the final

count for the Culver’s site and the additional parking would be 83 spaces (79 standard and 4 ADA).

On January 31, 2023, a Development Review Committee (DRC) Waiver was approved to exceed the maximum parking space count with a maximum number of fifty-four (54) spaces (includes handicap spaces) for the original Culver’s site.

Recommendation

The Development Review Committee (DRC) shall weigh the physical development constraints involved with the property in order to implement the code to the greatest extent possible, consider the criteria for waivers in Sec. 34-288.

Pursuant to Section 34-289 of the Code, the DRC shall review waiver applications with staff comments and either approve, approve with conditions or deny the request by a majority of the attending committee members. Any appeals to the decision of the DRC shall be heard by the Board of Adjustment and Appeals within thirty (30) days after the decision has been rendered.

BENCHMARK INFORMATION:

NAIL & DISK
LB 8205
ELEVATION = 19.96

VERTICAL DATA
ELEVATIONS REFER TO (NAVD) NORTH AMERICAN
VERTICAL DATUM 1988 FEET AND DECIMAL PART
THEREOF. BENCHMARK REFERENCE NAVD DATUM OF
1988. BENCHMARK IS NATIONAL GEODETIC SURVEY
DESIGNATION: U 412, ELEVATION 18.78 FEET.

LEGEND:

- PROPOSED SILT FENCE
(SEE DETAIL, SHEET No. 6)
- ▨ PROPOSED CONSTRUCTION ENTRANCE
(SEE DETAIL, SHEET No. 6)

DEMOLITION AND SWPPP NOTES:

1. ALL EROSION CONTROL DEVICES AND VISIBLE BARRICADES SHALL BE INSTALLED AND APPROVED BY THE ENGINEER PRIOR TO THE START OF CLEARING AND GRUBBING.
2. THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AS SPECIFIED PRIOR TO START OF CONSTRUCTION.
3. THE SITE SHALL BE CLEARED AND GRUBBED OF ALL VEGETATION AND DEBRIS WITHIN THE APPROXIMATE LIMITS OF CLEARING AS INDICATED ON THE DRAWING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE CITY OF TITUSVILLE UTILITY DEPARTMENT, FLORIDA SUNSHINE AND EMERGENCY SERVICES FOR RESPECTIVE UTILITY LOCATIONS AND "NOTICE" OF CONSTRUCTION ACTIVITY.
5. ALL REMOVED MATERIAL SHALL BE HAULED OFF-SITE TO AN APPROVED LANDFILL. TREES MAY BE LOGGED OR MULCHED FOR OFF-SITE DISPOSAL AT THE CONTRACTOR'S DISCRETION.
6. ALL EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO THE START OF WORK AND REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION AND REMOVAL OF DEBRIS AND SILT BEHIND EROSION CONTROL DEVICES.
8. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION BY INLET PROTECTION MEASURES TO PREVENT SILTATION IN THE DRAINAGE SYSTEM (SEE DETAILS THIS DRAWING). THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
9. ALL OFF-SITE AREAS DISTURBED DURING CONSTRUCTION ACTIVITY SHALL BE IMMEDIATELY RESTORED TO PRIOR CONDITION UPON COMPLETION OF WORK.
10. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION, BLOWING SAND AND THE IMPACT TO NEIGHBORING PROPERTIES.
11. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, CITY A MOT PLAN AT PRECONSTRUCTION MEETING. TRAFFIC SHALL BE ALLOWED TO CONTINUE DURING WORK. PROVIDE MEASURES TO DETOUR TRAFFIC AROUND OPEN EXCAVATION WITH ADEQUATE BARRICADES, SIGNAGE AND FLAGPERSON TO DIRECT TRAFFIC. EMERGENCY SERVICES SHALL BE NOTIFIED 48 HOUR IN ADVANCE.
12. EXISTING DRIVEWAYS SHOWN ADJACENT TO OR OUTSIDE LIMITS OF CONSTRUCTION SHALL REMAIN IN-SERVICE. EXISTING UTILITIES AND DRIVEWAYS SHALL NOT BE REMOVED UNLESS OTHERWISE NOTED.
13. IF ANY DEWATERING IS TO OCCUR DURING ANY PHASE OF CONSTRUCTION THEN DEWATERING ACTIVITY SHALL ADHERE TO CHAPTER 40C-22 FAC MORE SPECIFICALLY AS FOLLOWS. PER 40C-22.03(3) A "NOTICED GENERAL SHORT-TERM DEWATERING PERMIT" IS REQUIRED "ONLY IF" DEWATERING EXCEEDS 4 MILLION GALLONS PER DAY, EXCEPT DURING THE FIRST 120 HOURS OF DEWATERING WHEN THE DAILY AND INSTANTANEOUS PUMPAGE RATES SHALL NOT EXCEED 6 MILLION GALLONS PER DAY. AVERAGE DAILY WITHDRAWAL SHALL NOT EXCEED 2 MILLION GALLONS PER DAY FOR THE FIRST 60 DAYS OF THE DEWATERING ACTIVITY AND SHALL NOT EXCEED ONE MILLION GALLONS PER DAY OF A 180 DAY DURATION. EACH SPECIFIC DEWATERING PROJECT SHALL NOT EXCEED 180 DAYS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ANY DEWATERING ACTIVITY IS BELOW THE SPECIFIED THRESHOLD. OTHERWISE A PERMIT WILL BE REQUIRED AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FAMILIARIZE ITSELF WITH CHAPTER 40C-22 FAC AND BE SOLELY RESPONSIBLE FOR OBTAINING AND SUBMITTING FORM RDS-50 TO SURWMD A MINIMUM OF 10 DAYS PRIOR TO ANY DEWATERING ACTIVITY. SUBMITTAL OF FORM RDS-50 IS NOT REQUIRED IF DEWATERING IS 300,000 GALLONS PER DAY OR LESS AND WILL NOT EXCEED 30 DAYS IN DURATION.

EROSION CONTROL NOTES:

1. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE SWPPP DURING CONSTRUCTION OPERATIONS.
2. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
3. THE CONTRACTOR SHALL POST "NO TRESPASSING" SIGNAGE AT ALL SITE ENTRANCES PRIOR TO CONSTRUCTION.
4. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
5. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
6. GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
7. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
8. NO TURBID WATER SHALL BE DISCHARGED OFF-SITE FROM THE DEWATERING OPERATION. CONTRACTOR SHALL TAKE MEASURES TO CONTROL TURBIDITY.
9. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OF NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
11. PROVIDE DUST CONTROL FOR ALL EARTHWORK OPERATIONS. COVER AREA WITH LIGHT COATING OF WATER OR OTHER APPROVED METHOD.
12. SILT FENCE INSTALLED IN TREE PROTECTION AREAS SHALL NOT BE TRENCHED. LEAVE A 4" FLAP OF FENCING ON THE GROUND ALONG THE INSIDE OF THE FENCE AND COVER WITH A MINIMUM OF 4" OF SOIL.

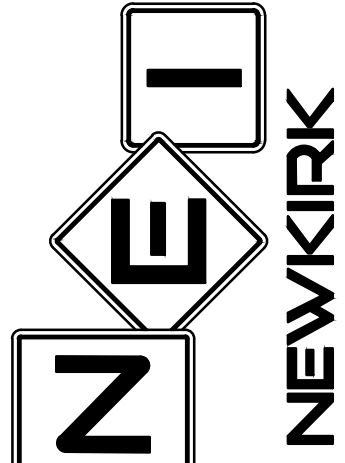
SWPPP INSPECTIONS AND RECORD KEEPING:

INSPECTIONS ARE REQUIRED AT LEAST EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS FOLLOWING A RAINFALL EVENT OF ONE-HALF (1/2) OF AN INCH OF RAINFALL OR GREATER AND SHALL CONTINUE UNTIL THE SITE COMPLIES WITH FINAL STABILIZATION (NOTICE OF TERMINATION). INSPECTIONS MUST BE CONDUCTED BY A "QUALIFIED" INSPECTOR. "QUALIFIED" IS DEFINED AS A PERSON THAT A) HAS SUCCESSFULLY COMPLETED AND MET ALL REQUIREMENTS NECESSARY TO BE FULLY CERTIFIED THROUGH THE FDEP STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM; B) HAS SUCCESSFULLY COMPLETED AN EQUIVALENT FORMAL TRAINING PROGRAM; OR C) THAT IS QUALIFIED BY OTHER TRAINING OR PRACTICAL EXPERIENCE IN THE FIELD OF STORMWATER POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL. EACH INSPECTION MUST BE FOLLOWED UP BY A REPORT DOCUMENTING THE INSPECTOR'S FINDINGS AND REQUEST THE REQUIRED MAINTENANCE AND/OR REPAIR FOR THE EROSION AND SEDIMENTATION CONTROL MEASURES. THESE RECORDS ARE USED TO PROVE THAT THE REQUIRED INSPECTION AND MAINTENANCE WERE PERFORMED AND SHALL BE PLACED IN THE SWPPP LEDGER. IN ADDITION TO INSPECTION AND MAINTENANCE REPORTS, RECORDS SHOULD BE KEPT OF CONSTRUCTION ACTIVITIES THAT OCCUR ON THE SITE. THE CONTRACTOR SHALL RETAIN COPIES OF THE SWPPP, ALL REPORTS AND DATA FOR A MINIMUM OF FIVE (5) YEARS AFTER THE PROJECT IS COMPLETE IN PAPER AND CD FORMAT.

REVISIONS

DATE	DESCRIPTION

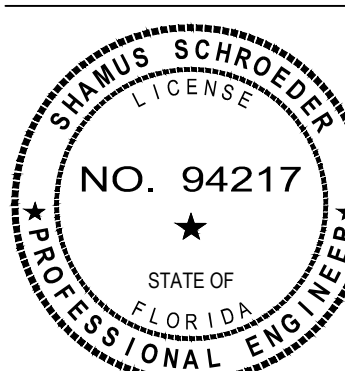
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Civil Engineering,
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**DEMOLITION AND SWPPP PLAN
CULVER'S PARKING EXPANSION**
2855 CHENEY HIGHWAY (SR - 50)
TITUSVILLE, FL 32780

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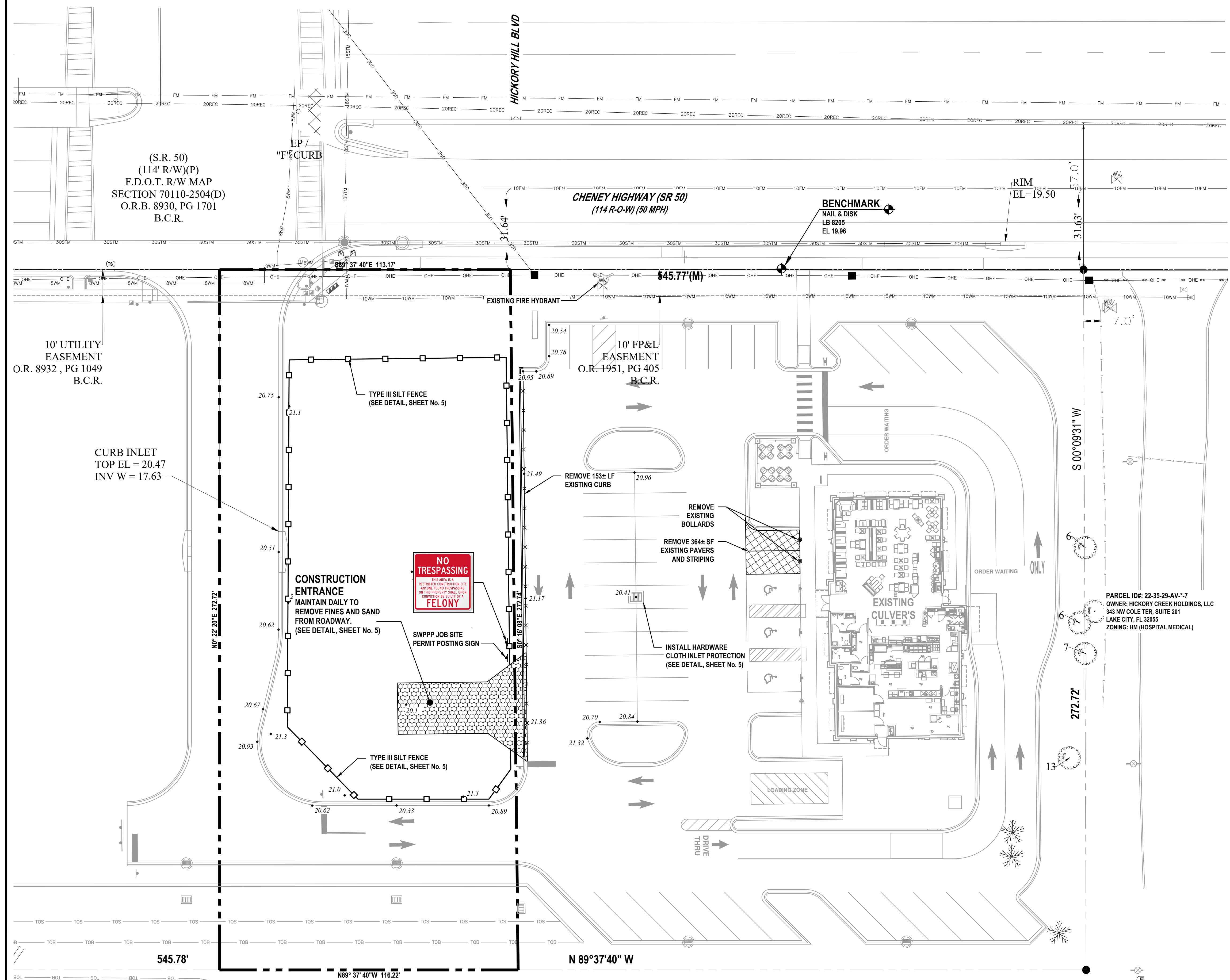
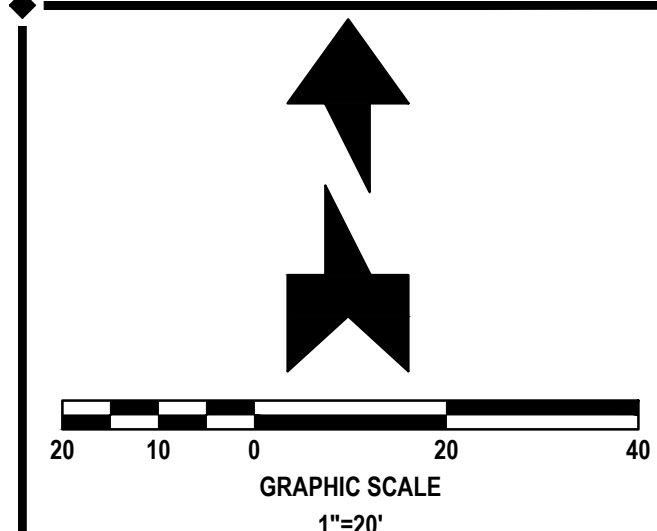
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SHAMUS SCHROEDER, P.E. # 94217
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PROJECT No:	2025-75
DATE:	OCTOBER 2025
DESIGN BY:	STS
DRAWN BY:	MLH
CHECKED BY:	HHN
SCALE:	1" = 30'
DRAWING NUMBER	

4



72 LF 24" HDPF

Sunshine811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!

WARNING !!
CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES, GAS MAINS AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.

FDOT NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH THE LATEST EDITIONS OF THE DESIGN STANDARDS, THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE UTILITY ACCOMMODATION MANUAL (UAM).
2. ALL RW DISTURBED BY THIS WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER AND IN ACCORDANCE WITH APPLICABLE FDOT SPECIFICATIONS. ALL DISTURBED AREAS MUST BE SODDED, MATCHING EXISTING GRASS TYPE.
3. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR/SUBCONTRACTOR AT HIS SOLE EXPENSE AND ANY DELAY INCURRED SHALL NOT BE CAUSE FOR AN EXTENSION IN THE TIME OF THE CONTRACT.
4. ALL PROPOSED SURFACES SHALL BE GRADED TO DRAIN POSITIVELY TO ASSURE NO LOW POINTS HAVE BEEN CREATED, NO FLOODING TO ADJACENT PROPERTIES WILL OCCUR SMOOTH SURFACES ARE MAINTAINED AND NO STEEP OR UNUSUAL SLOPES ARE CREATED.
5. ALL AFFECTED SIDEWALKS, RAMPS, AND CROSSWALKS WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS
6. CONSTRUCTION NOTE: ALL EXISTING UTILITIES WILL BE LOCATED AND VERIFIED THROUGH THE USE OF GPR AND SUNSHINE 811 BEFORE ANY CONSTRUCTION WILL TAKE PLACE.

STRIPING LEGEND:

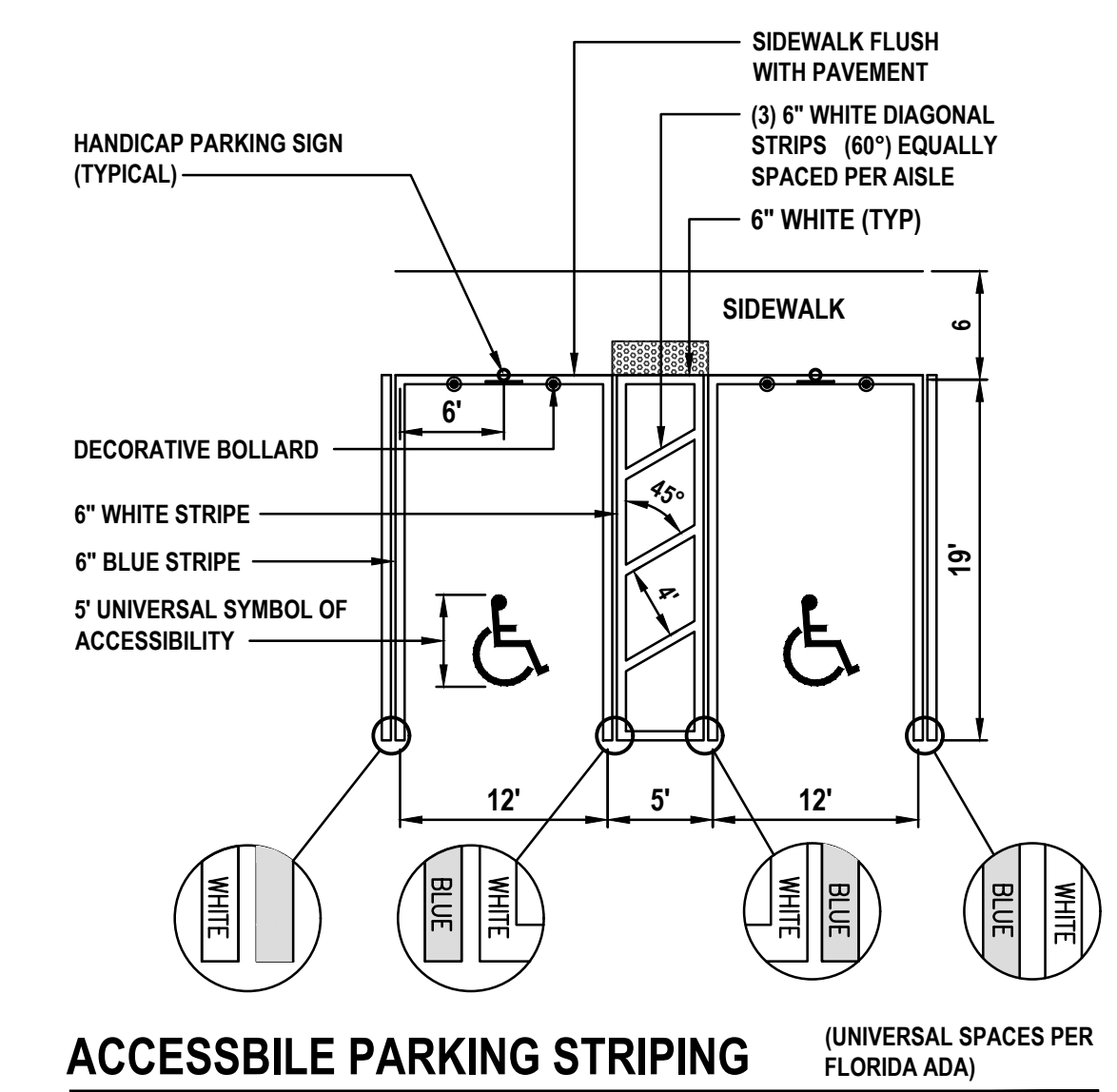
- ① 6" SOLID WHITE LINE (TYPICAL)
- ② WHITE DIRECTIONAL ARROW (TYPICAL)

LEGEND:

- TYPE 'F1' CURB
- 12" X 12" RIBBON CURB
- 24" DETECTABLE WARNING MAT
- SITE LIGHTING
SEE ARCHITECTURAL PLANS FOR DETAILS

PAVING LEGEND:

- ASPHALT PAVEMENT
 - 1.5" SP-9.5 WITH TACK COAT PER FDOT SPECIFICATIONS
 - 8" BASE
 - 8" STABILIZED SUBBASE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
- 8" BASE:
 - 1) CRUSHED CONCRETE (LBR=150) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS)
 - 2) LIMEROCK (LBR=100) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS)
- * ALTERNATE 8" STABILIZED SUBBASE: 6" BASE
- * ALTERNATE PAVEMENT TO ASPHALT IS CONCRETE PAVEMENT
- CONCRETE PAVEMENT
 - 6" CONCRETE (3,000 P.S.I. @ 28 DAYS)
 - 12" STABILIZED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS) SEE DETAIL SHEET No. 20

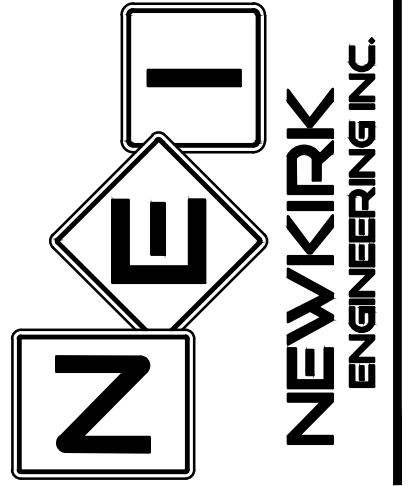


ACCESSIBLE PARKING STRIPING (UNIVERSAL SPACES PER FLORIDA ADA)
SCALE: 1" = 10'

REVISIONS

DATE	DESCRIPTION
11/11/25	FDOT COMMENTS
12/10/25	CITY COMMENTS

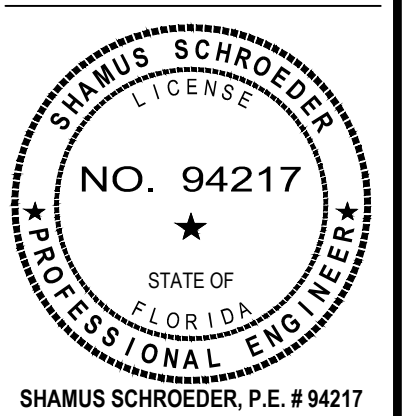
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SITE LAYOUT PLAN
CULVER'S PARKING EXPANSION
2855 CHENEY HIGHWAY (SR - 50)
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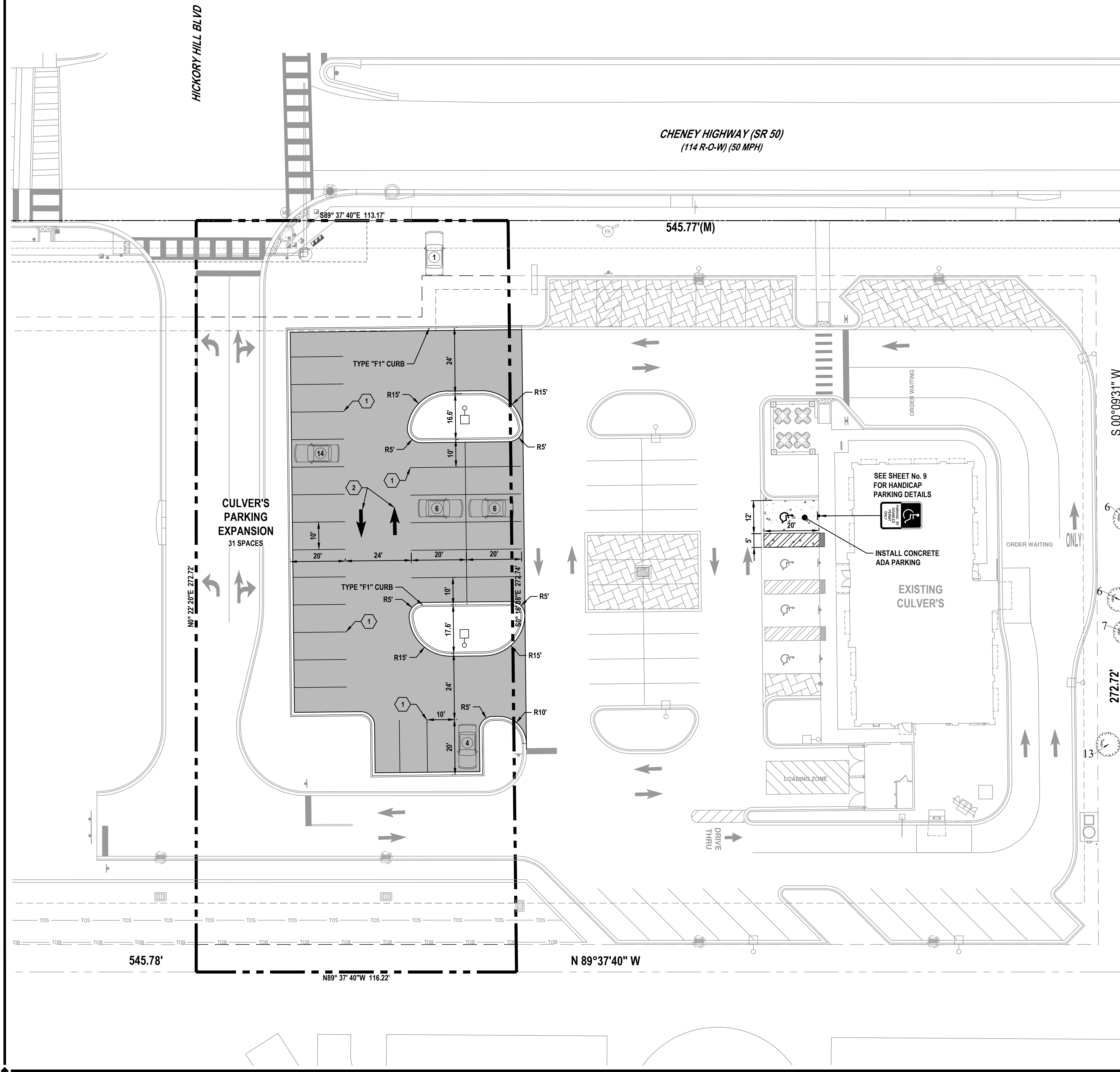
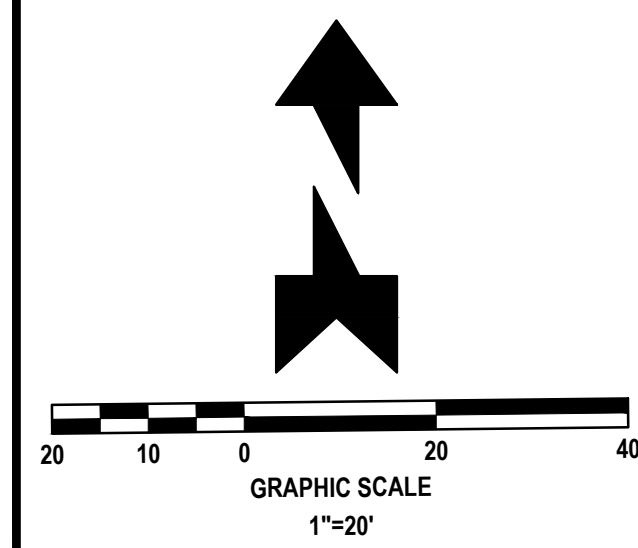
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PROJECT No: 2025-75
DATE: OCTOBER 2025
DESIGN BY: STS
DRAWN BY: MLH
CHECKED BY: HHN
SCALE: 1" = 20'
DRAWING NUMBER

06



GENERAL NOTES:

1. CITY OF TITUSVILLE BUILDING PERMITS ARE REQUIRED FOR BUILDING, CANOPIES, DUMPSTER ENCLOSURE, LIGHT POLES, FENCE AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING APPROPRIATE INFORMATION (ENGINEERING, SPECIFICATIONS, ETC.) AT TIME OF BUILDING PERMIT.
2. ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDEXES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATION MANUAL.
3. ALL DIMENSIONS AND TIES ARE TO THE EDGE OF PAVEMENT AND OUTSIDE FACE OF BUILDING.
4. ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION OR GPS. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
5. THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJACENT BUSINESSES TO ENSURE THERE IS NO DISRUPTION TO THEIR RESPECTIVE OPERATIONS.
6. THE CONTRACTOR AT ITS OWN DISCRETION SHALL MAINTAIN THE CONSTRUCTION SITE SECURE FROM TRESPASS.
7. SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA SOD.
8. ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
9. ALL PAVEMENT EDGE SHALL HAVE TYPE "F1" CURBING UNLESS OTHERWISE NOTED ON THESE PLANS.
10. ALL WALL-MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERNAL VENTS AND LOUVERS, ETC., SHALL BE PAINTED TO MATCH THE WALL ON WHICH IT IS MOUNTED OR OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.
11. ALL MATERIALS, MACHINERY AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.
12. COMMERCIAL IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF INITIATION OF PERMANENT ELECTRIC SERVICE.
13. CONTRACTOR TO PROVIDE PREMISE IDENTIFICATION FOR BUILDING DURING CONSTRUCTION.
14. DIRECTIONAL SIGNAGE CANNOT EXCEED 4 SQUARE FEET.

PAVEMENT MARKING NOTES:

1. ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH FDOT INDEX NO. 700-101 AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (LATEST EDITION).
2. PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED. SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS.
3. APPLY PAINTED PAVEMENT MARKINGS AT LAST STAGE OF CONSTRUCTION AFTER LANDSCAPE PLANTINGS ARE INSTALLED.
4. PAINT SHALL BE SHERWIN WILLIAMS LOW-VOC ACRYLIC PRO PARK PAINT, APPLY PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DRAWINGS FOR LOCATIONS OF SPECIFIC COLORS.
5. ALL STOP BARS SHALL BE THERMOPLASTIC.
6. ALL REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 706-001.
7. LOCATION OF SIGNS IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE AS DIRECTED BY THE ENGINEER.
8. FOR ADDITIONAL DETAILS SEE INDEX NO. 700-010, 711-001 AND 711-002.
9. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED USING 3M BRAND DIAMOND GRADE VIP REFLECTIVE SHEETING ON MINIMUM .08 GA ALUMINUM BLANKS. ALL SIGNS SHALL BE INSTALLED ON 2"x2" SQUARE STEEL POSTS WITH 3/8" HOLES SPACED AT 1" ON CENTER.

SAFEGUARDS FOR CONSTRUCTION, ALTERATION, AND DEMOLITION:

SAFEGUARDS FOR CONSTRUCTION, ALTERATION, AND DEMOLITION SHALL BE IN PLACE IN ACCORDANCE WITH CURRENT EDITION OF FLORIDA FIRE PREVENTION CODE, NFPA 1 (EDITION ADOPTED IN FPFC) AND NFPA 241 (EDITION ADOPTED IN FPFC) STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.

ENSURE CERTIFIED FIRE EXTINGUISHERS ARE PROPERLY LOCATED THROUGHOUT BUILDING DURING CONSTRUCTION AND/OR DEMOLITION AND NO SMOKING TAKES PLACE INSIDE THE BUILDING. NFPA 1: 16.1.1

THE SUITABILITY, DISTRIBUTION, AND MAINTENANCE OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS. NFPA 241 7.7.1

WHEREVER A TOOL HOUSE, STOREROOM, OR OTHER SHANTY IS LOCATED IN OR ADJACENT TO THE BUILDING UNDER CONSTRUCTION OR DEMOLITION, OR WHERE A ROOM OR SPACE WITHIN THAT BUILDING IS USED FOR STORAGE, A DRESSING ROOM, OR A WORKSHOP, AT LEAST ONE APPROVED EXTINGUISHER SHALL BE PROVIDED AND MAINTAINED IN AN ACCESSIBLE LOCATION. NFPA 241 7.7.2

RESPONSIBILITY FOR HOT WORK OPERATIONS AND FIRE PREVENTION PRECAUTIONS, INCLUDING PERMITS AND FIRE WATCHES, SHALL BE IN ACCORDANCE WITH NFPA 51B, STANDARD FOR FIRE PREVENTION DURING WELDING, CUTTING, AND OTHER HOT WORK. NFPA 241 5.1.1

ANY HOT WORK INVOLVING CUTTING TORCHES OR WELDING REQUIRE A WORKER AT THE LOCATION OF THE HOT WORK WITH A FIRE EXTINGUISHER. NFPA 241 AND 51B

FIRE DEPARTMENT ACCESS AND FIRE LANES SHALL BE MAINTAINED AT ALL TIMES. NFPA 241 7.5

SMOKING SHALL BE PROHIBITED THROUGHOUT THE DEMOLITION AREAS. NFPA 241 10.4

SMOKING SHALL BE PERMITTED ONLY IN DESIGNATED AREAS. NFPA 241 5.3.2

WHERE SMOKING IS PERMITTED, SAFE RECEPTACLES FOR SMOKING MATERIALS SHALL BE PROVIDED. NFPA 241 5.3.3



Gateway to Nature & Space



**APPLICATION FOR DEVELOPMENT REVIEW COMMITTEE (DRC)-
TECHNICAL MANUAL WAIVERS**

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Section 34-296 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. **INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.**

1. Project Location	Property Address/Location Description 2855 CHENEY HWY		
2. Applicant/ Owner	Name of Applicant/Contact SHAMUS SCHROEDER		Name of Owner SERENA MICHELS
	Street Address 1230 N US HWY 1, STE 3		Street Address 571 ROTONDA CIRCLE
	City	State	Zip
	ORMOND	FL	32174
	Telephone # 386-872-7794		Telephone # 920-410-2863
Fax #		Fax #	
E-Mail Address SHAMUS@NEWKIRK-ENGINEERING.COM		E-Mail Address CULVERSOFCARPENTERSVILLE@YAHOO.COM	
3. Applicant Status	<input type="checkbox"/> Owner	<input type="checkbox"/> Tenant	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Other
4. Parcel ID	22-35-29-AV-*-8.01	Tax Acct.	3022883
5. Site Size	Acres: 0.718	Square Feet: 31279	
6. Property Information	Current Zoning CC		Current Use of Property RESTAURANT
7. Waiver(s) Requested	<i>Section Number</i>	<i>LDR/Technical Manual Requirement</i>	<i>Waiver Requested</i>
	1) 9.16.4	1) 1 PER 150 SF GF	1) SEE BELOW
	2) _____	2) _____	2) _____
	3) _____	3) _____	3) _____
	4) _____	4) _____	4) _____
	5) _____	5) _____	5) _____

8. Design Review and or Waivers Required by CRA in DMU Zoning	Property is > 1.5 acres <input type="checkbox"/> Building is > 10,001 square feet in size <input type="checkbox"/> Not applicable (property ≤ 1.5 acres or building ≤ 10,000 square in size) <input checked="" type="checkbox"/>
9. Narrative	<p>Please provide a brief description of your request and the proposed project: Construction of 31 additional parking spaces for the existing Culver's restaurant to meet customer demand as the existing parking area is often full during operating hours. An additional ADA space will be required with the proposed spaces, two of the 54 existing spaces will be converted to one ADA space, final parking count will be 83 spaces (79 standard, 4 ADA).</p>

- **All applications shall require Community Development staff review prior to submittal.**
- Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information and fees are submitted. Meeting dates for incomplete applications will not be set until all required information and fees are submitted.

ACKNOWLEDGEMENT

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the DRC Committee and or the Community Redevelopment Agency (CRA) on this topic to properly noticed public meetings or to written communication to the Redevelopment Planner for DMU waivers and the Development Services Manager for Technical Manual waivers, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/ Shamus Schroeder
(Signature*)

12/10/2025
(Date)

** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.*

Date received: _____

Accepted by: _____



City of Titusville

Staff Report

DEVELOPMENT REVIEW COMMITTEE (DRC) - #2-2026

Waiver Request for an Industrial Project - Southeast corner of Golden Knights Boulevard and Tico Road

Meeting Date:	January 29, 2026
Prepared By:	Mandy Lamothe, Deputy Community Development Director
Applicant(s):	Jean M. Abi-Aoun
Applicant's Request:	To allow a sanitary sewer force main to be two (2) inches less in diameter than the City's required minimum size of four (4) inches in diameter.
Staff Recommendation:	Consideration of the proposed waiver request

Background Information

The applicant, Jean M. Abi-Aoun, is requesting the Development Review Committee (DRC) grant the following waiver:

1. To the criteria specified in the City's Water Resources Department Technical Specification Section 5.20 which states that "No sanitary sewer main conveying wastewater shall be less than eight (8) inches in diameter nor shall any City owned force main be less than four (4) inches in diameter."

The applicant has requested a waiver to allow a sanitary sewer force main size to be two (2) inches less than the City's required minimum size of four (4) inches in diameter.

Waiver Criteria

Pursuant to Section 34-286 of the Code, the DRC has the authority to waive this requirement using the following review criteria specified in Section 34-288:

1. The alternative standards promotes flexibility and environmental soundness in layout and design; or
2. The proposed new standards are appropriate to the proposed type of development; or
3. The property exhibits physical constraints that prevent the implementation of provisions of the City's technical manuals and the waiver would allow the implementation of the code provision to the greatest extent possible; or
4. The waiver would be based on the latest best professional practices that would not be possible in implementing the code provision.

Analysis

The applicant is requesting a waiver to the requirement that no sanitary sewer force main size be less than four (4) inches in diameter to serve a new industrial development currently under site plan review. The applicant is proposing a two (2) inch diameter sewer force main to a private lift station.

According to the applicant, due to the limited design flows of approximately 34 gpm associated with the proposed light industrial development, a 4-inch force main would result in velocities of 0.9 fps which is below the minimum recommended for maintenance and scouring of 2 fps.

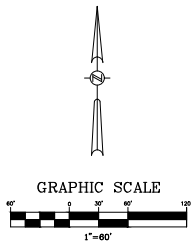
Recommendation

The Development Review Committee (DRC) should weigh the physical constraints involved with the property in order to implement the code to the greatest extent possible and also consider the criteria for waivers in Sec. 34-288.

Pursuant to Section 34-289 of the Code, the DRC shall review waiver applications with staff comments and either approve, approve with conditions or deny the request by a majority of the attending committee members. Any appeals to the decision of the DRC shall be heard by the Board of Adjustment and Appeals within thirty (30) days after the decision has been rendered.

SITE LEGEND

- CONCRETE PAVEMENT
- GRAVEL PAVEMENT
- ASPHALT PAVEMENT
- 6" HIGH CHAINLINK FENCE
- PROPERTY LINE
- EXISTING EASEMENT LINES
- BUILDING SETBACK LINE



BREVARD COUNTY-IMPROVED
 FLU: PSP
 ZONING: PUBLIC

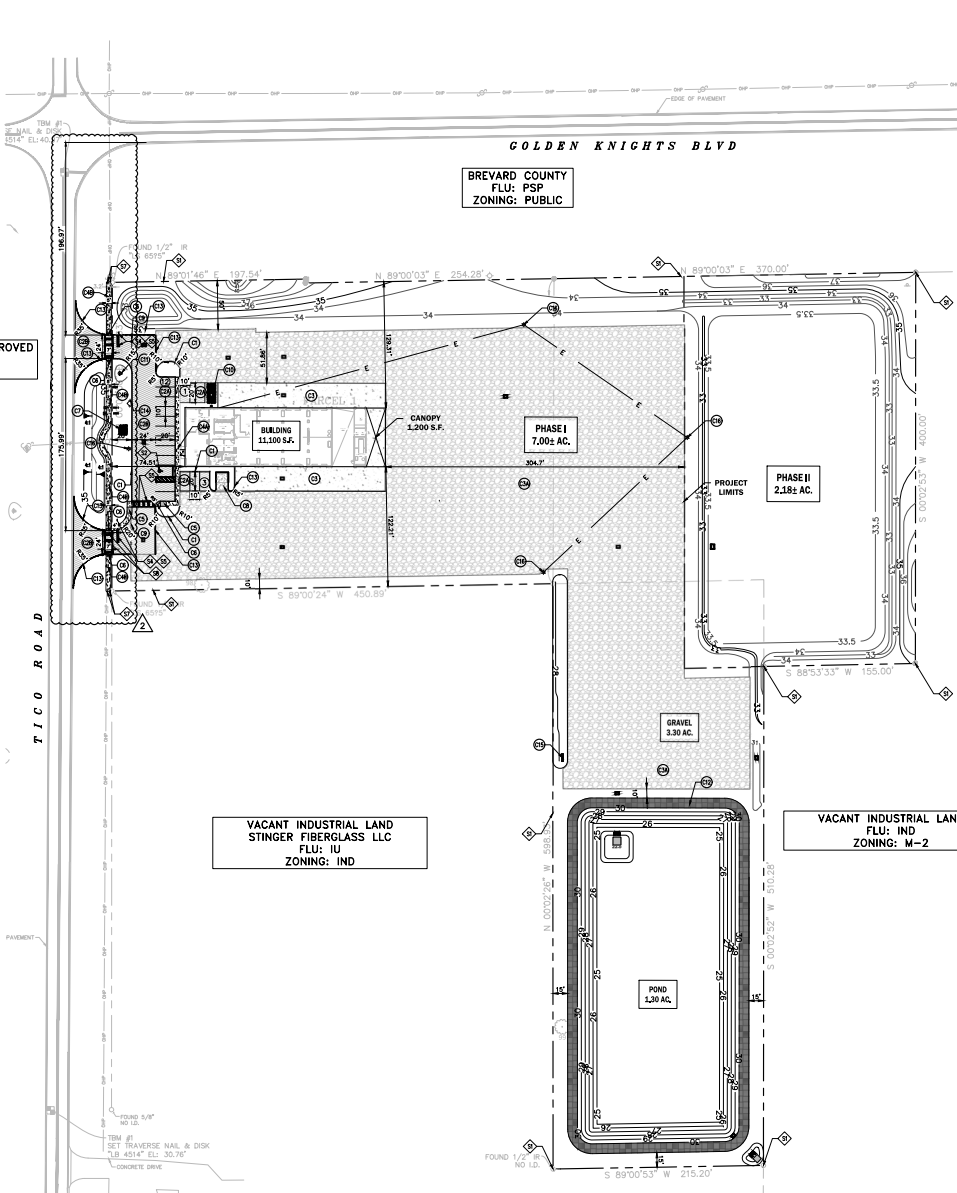
BREVARD COUNTY
 FLU: PSP
 ZONING: PUBLIC

VACANT INDUSTRIAL LAND
 STINGER FIBERGLASS LLC
 FLU: IU
 ZONING: IND

VACANT INDUSTRIAL LAND
 FLU: IND
 ZONING: M-2

SITE NOTES

- a. ALL UTILITIES SHOULD BE LOCATED UNDERGROUND.
 - b. CONTRACTOR TO ATTEND A MANDATORY PRECONSTRUCTION MEETING WITH CITY STAFF PRIOR TO ANY DISTURBANCE OF THE PROPERTY.
 - c. CONSERVATION EASEMENTS WITH UPLAND BUFFERS DELINEATED IF APPLICABLE WITH RECORDING INFORMATION (O.R. BOOK AND PAGE #), IF APPLICABLE.
 - d. LANDSCAPE ISLAND NOSE NOT TO EXCEED THE PARKING STALL DEPTH &/OR PROTRUDE INTO DRIVE AISLES, TYPICAL.
 - e. ALL CURB RADI ARE TO BE 5.0', TYPICAL, UNLESS NOTED OTHERWISE.
 - f. SIDEWALKS WITHIN COUNTY RIGHT-OF-WAY SHALL BE 6-INCHES THICK AND MEET THE MINIMUM REQUIREMENTS OF B.C.L.D. EXHIBITS 13, 14, AND 15.
 - g. TRUNCATED DUMES/DETECTABLE WARNINGS IN THE COUNTY RIGHT-OF-WAY SHALL BE EMBEDDED A MINIMUM OF 1 INCH INTO THE CONCRETE SURFACE PER B.C.L.D. EXHIBIT 15. BOLT-DOWN TRUNCATED DUMES/DETECTABLE WARNINGS ARE NOT ALLOWED.
 - h. ALL PAVEMENT MARKINGS WITHIN BREVARD COUNTY RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
 - i. ALL POSTS AND HARDWARE FOR ANY SIGNS INSTALLED ON THE SITE OR WITHIN BREVARD COUNTY RIGHT-OF-WAY SHALL COMPLY WITH THE REQUIREMENTS OUTLINED IN EXHIBIT 26.
- ◇ SITE STRIPING & SIGNAGE KEYNOTES**
- S1. PROPERTY BOUNDARY.
 - S2. HANDICAP PARKING STALL, TYPICAL.
 - S3. HANDICAP SIGN.
 - S4. 24" THERMOPLASTIC STOP BAR.
 - S5. R1-1 HIGH INTENSITY REFLECTORIZED "STOP" SIGN.
 - S6. CROSSWALK STRIPING PER F.D.O.T. INDEX No. 711-011, TYPICAL (THERMOPLASTIC).
 - S7. SIDEWALK TERMINATION SIGNS, TYPE 2 OBJECT MARKERS, INSTALL PER FOOT INDEX 700-010.
- Ⓞ SITE CONSTRUCTION KEYNOTES**
- C1. 6" HEAD CURB, TYPICAL.
 - C2A. ASPHALT PAVEMENT, LIGHT-DUTY IN PARKING SPACES.
 - C2B. ASPHALT PAVEMENT, HEAVY-DUTY IN DRIVE AISLES.
 - C3. CONCRETE PAVEMENT.
 - C3A. GRAVEL SURFACE.
 - C4A. MONOLITHIC CONCRETE SIDEWALK, TYPICAL.
 - C4B. CONCRETE SIDEWALK, TYPICAL.
 - C5. HANDICAP ACCESS RAMP WITH A MAXIMUM 12:1 SLOPE, TYPICAL.
 - C6. DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE 2010.
 - C7. FIRE HYDRANT.
 - C8. DUMPSTER ENCLOSURE.
 - C9. (3) 12' DOUBLE SWING GATE.
 - C10. GRINDER PUMP.
 - C11. TRANSFORMER.
 - C12. POND BERM.
 - C13. RIBBON CURB.
 - C14. FIRE DEPARTMENT CONNECTION.
 - C15. HEAD WALL.
 - C16. SITE LIGHTING POLE.



SITE DATA

PROPERTY LOCATION: TICO RD. & GOLDEN KNIGHTS BLVD, TITUSVILLE, FL
 PROPERTY FUTURE LAND USE DESIGNATION: IND (INDUSTRIAL)
 PROPERTY ZONING: M-2 (INDUSTRIAL)
 EXISTING USE: VACANT INDUSTRIAL LAND
 PROPOSED USE: EQUIPMENT RENTAL/TBD
 TOTAL SITE AREA: 9.18± ACRES
 PROPOSED GROSS FLOOR AREA: 11,100 S.F.(*)
 *(PLUS 1,200 S.F. OF CANOPY)
 PROJECT AREA (PHASE I): 7.00 AC.
 PROJECT AREA (PHASE 2): 2.18 AC.
 MAXIMUM FLOOR AREA RATIO: 1.5
 PROPOSED FLOOR AREA: 0.04

BUILDING SETBACKS (REQUIRED)		BUILDING SETBACKS (PROPOSED)	
FRONT (WEST)	25'	FRONT (WEST/TICO RD)	50'
SIDE (NORTH/GOLDEN KNIGHTS BLVD)	50'	SIDE (NORTH/GOLDEN KNIGHTS BLVD)	129.31'
SIDE (SOUTH)	25'	SIDE (SOUTH)	122.21'
REAR (EAST)	25'	REAR (EAST)	304.70'

BUFFER YARDS (REQUIRED)		BUFFER YARDS (PROPOSED)	
FRONT (WEST/TICO RD)	20' TYPE B	FRONT (WEST/TICO RD)	50' TYPE B
SIDE (NORTH/GOLDEN KNIGHTS BLVD)	50' TYPE E	SIDE (NORTH/GOLDEN KNIGHTS BLVD)	50' TYPE E
SIDE (SOUTH)	10' TYPE A	SIDE (SOUTH)	10' TYPE A
REAR (EAST)	10' TYPE A	REAR (EAST)	10' TYPE A

MAXIMUM ALLOWABLE BUILDING HEIGHT: 50'
 BUILDING HEIGHT PROPOSED: 24'

PARKING

PARKING REQUIRED	STANDARD PARKING SPACES	HANDICAP PARKING	TOTAL PARKING PROVIDED
WAREHOUSE (7,950 S.F.)	15 SPACES	1 SPACES	16 SPACES
OFFICE	15 SPACES	1 SPACES	16 SPACES
TOTAL PARKING REQUIRED	30 SPACES	2 SPACES	32 SPACES
SPACES REQUIRED TO BE RESERVED FOR HANDICAP		1 SPACES	

PHASE I SITE AREA CALCULATIONS

ITEM	AREA (S.F.)	AREA (AC.)	PERCENT
BUILDING FOOTPRINT (W/ CANOPY)	12,300 S.F.	0.28 AC.	3.05%
PAVING	9,864 S.F.	0.23 AC.	2.51%
SIDEWALK & CONCRETE PAVEMENT	10,000 S.F.	0.23 AC.	2.51%
IMPERVIOUS AREA	32,364 S.F.	0.74 AC.	10.57%
PERVIOUS AREA	128,748 S.F.	2.96 AC.	42.29%
OUTDOOR STORAGE (GRAVEL)	143,752 S.F.	3.30 AC.	47.14%
TOTAL SITE AREA	304,866 S.F.	7.00 AC.	100.00%

IMPERVIOUS COVER PROPOSED: 10.57%
 OPEN SPACE REQUIRED: 20%
 OPEN SPACE PROPOSED: 20.41%

PHASE 2 SITE AREA CALCULATIONS

ITEM	AREA (S.F.)	AREA (AC.)	PERCENT
IMPERVIOUS COVER PROPOSED (70% MAXIMUM IMPERVIOUS)	66,397 S.F.	1.52 AC.	70.00%
PERVIOUS AREA	28,458 S.F.	0.66 AC.	30.00%
TOTAL SITE AREA	94,855 S.F.	2.18 AC.	100.00%

PLANS PREPARED BASED ON NAVD88 VERTICAL DATUM
PLANS PREPARED BASED ON NAVD83 HORIZONTAL DATUM

DATE	REVISIONS	BY	CHECKED
10/16/2025	PER SURVINO COMMENTS DATED 9/23/2025	WA	JAA
11/04/2025	PER COUNTY COMMENTS DATED 10/21/2025	WA	JAA

CONSTRUCTION PLANS
 GOLDEN KNIGHTS INDUSTRIAL
 TITUSVILLE, FLORIDA

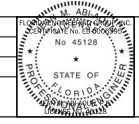


5127 S. Orange Avenue, Suite 200
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325
 www.feg-inc.us

SITE GEOMETRY PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
JAA	WA	JAA	JAA

PROJECT NO: 25-030
 SCALE: 1"=60'
 DATE: JULY 01, 2025
 SHEET NO: C-5
 SHEET 5 OF 19



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JEAN M. ABACOLON, P.E. ON 11/11/2025 USING A DIGITAL SIGNATURE.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



Gateway to Nature & Space



APPLICATION FOR DEVELOPMENT REVIEW COMMITTEE (DRC)- TECHNICAL MANUAL/DOWNTOWN MIXED USE (DMU) ZONING WAIVERS

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Section 34-296 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.

1. Project Location	Property Address/Location Description South East of Golden Knights Blvd and Tico Road		
2. Applicant/ Owner	Name of Applicant/Contact Jean M. Abi-Aoun		Name of Owner GK Industrial LLC
	Street Address 5127 S. Orange Ave		Street Address 122 S Bumby Avenue 9A
	City	State	Zip
	Orlando	FL	32809
	Telephone # 407-895-0324		Telephone # 407-895-0324
Fax #		Fax #	
E-Mail Address abiaoun.j@tandh.com		E-Mail Address mdstuart30@gmail.com	
3. Applicant Status	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Other		
4. Parcel ID	3019544 - 2300402	Tax Acct.	
5. Site Size	Acre(s): 9.18	Square Feet: 399,881	
6. Property Information	Current Zoning M-2 (Industrial)	Current Use of Property Vacant	
7. Waiver(s) Requested	<i>Section Number</i>	<i>LDR/Technical Manual Requirement</i>	<i>Waiver Requested</i>
	1) _____	1) _____	1) _____
	2) _____	2) _____	2) _____
	3) _____	3) _____	3) _____
	4) _____	4) _____	4) _____
	5) _____	5) _____	5) _____

8. Design Review and or Waivers Required by CRA in DMU Zoning	Property is > 1.5 acres <input checked="" type="checkbox"/> Building is > 10,001 square feet in size <input checked="" type="checkbox"/> Not applicable (property ≤ 1.5 acres or building ≤ 10,000 square in size) <input type="checkbox"/>
9. Narrative	<p>Please provide a brief description of your request and the proposed project:</p> <p>The proposed sanitary sewer system includes a 2” diameter force main which is smaller than the City’s standard 4-inch minimum. Due to the limited design flows of approximately 34 GPM associated with the proposed light industrial development, a 4-inch force main would result in velocities of 0.9 FPS which is below the minimum recommended for maintenance and scouring of 2 FPS.</p> <p>The proposed force main size has been selected to maintain adequate flow velocities in accordance with accepted engineering practice and the City’s operational intent. The requested waiver to the City of Titusville Utility Engineering Technical Specifications is sought to allow a reduced force main diameter while maintaining proper system performance and reliability.</p> <p>Supporting pump calculations and force main profiles are provided to demonstrate compliance with minimum velocity requirements.</p>

- **All applications shall require Community Development staff review prior to submittal.**
- Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information and fees are submitted. Meeting dates for incomplete applications will not be set until all required information and fees are submitted.

ACKNOWLEDGEMENT

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the DRC Committee and or the Community Redevelopment Agency (CRA) on this topic to properly noticed public meetings or to written communication to the Redevelopment Planner for DMU waivers and the Development Services Manager for Technical Manual waivers, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/ **Jean Abi Aoun** Digitally signed by Jean Abi Aoun
DN: C=US, E=abiaoun.j@tandh.com, CN=Jean Abi Aoun
Date: 2026.01.13 13:27:11-05'00' _____ (Date)

(Signature*)

** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.*

DATE RECEIVED: _____

ACCEPTED BY: _____



City of Titusville

Staff Report

DEVELOPMENT REVIEW COMMITTEE (DRC) - #3-2026

Waiver Request for a Single-Family Home at 4860 Barna Avenue

Meeting Date:	January 29, 2026
Prepared By:	Mandy Lamothe, Deputy Community Development Director
Applicant(s):	Rodney Honeycutt, P.E.
Applicant's Request:	To allow a sanitary sewer force main to be two (2) inches less in diameter than the City's required minimum size of four (4) inches in diameter.
Staff Recommendation:	Consideration of the proposed waiver request

Background Information

The applicant, Rodney Honeycutt, is requesting the Development Review Committee (DRC) grant the following waiver:

1. To the criteria specified in the City's Water Resources Department Technical Specification Section 5.20 which states that "No sanitary sewer main conveying wastewater shall be less than eight (8) inches in diameter nor shall any City owned force main be less than four (4) inches in diameter."

The applicant has requested a waiver to allow a sanitary sewer force main size to be two (2) inches less than the City's required minimum size of four (4) inches in diameter.

Waiver Criteria

Pursuant to Section 34-286 of the Code, the DRC has the authority to waive this requirement using the following review criteria specified in Section 34-288:

1. The alternative standards promotes flexibility and environmental soundness in layout and design; or
2. The proposed new standards are appropriate to the proposed type of development; or
3. The property exhibits physical constraints that prevent the implementation of provisions of the City's technical manuals and the waiver would allow the implementation of the code provision to the greatest extent possible; or
4. The waiver would be based on the latest best professional practices that would not be possible in implementing the code provision.

Analysis

The applicant is requesting a waiver to the requirement that no sanitary sewer force main size be less than four (4) inches in diameter to serve a new single family home. The applicant is proposing a two (2) inch diameter sewer force main to a private lift station.

According to the applicant, the proposed lift station capacity pump provides 50 gallons per minute (gpm). The minimum velocity in a force main is 2 feet per second (fps), per FDEP. The maximum size pipe that provides the 2 fps at 50 gpm is 2-inch diameter.

Recommendation

The Development Review Committee (DRC) should weigh the physical constraints involved with the property in order to implement the code to the greatest extent possible and also consider the criteria for waivers in Sec. 34-288.

Pursuant to Section 34-289 of the Code, the DRC shall review waiver applications with staff comments and either approve, approve with conditions or deny the request by a majority of the attending committee members. Any appeals to the decision of the DRC shall be heard by the Board of Adjustment and Appeals within thirty (30) days after the decision has been rendered.

NOTES:

- CONTRACTOR MUST MAINTAIN 6' MINIMUM HORIZONTAL SEPARATION BETWEEN EXISTING WATER MAIN AND PROPOSED FORCE MAIN.
- FORCE MAIN MUST BE ROUTED UNDER PROPOSED WATER SERVICE WITH MINIMUM 18" VERTICAL SEPARATION.
- FORCE MAIN MUST BE INSTALLED AND TESTED PER CITY OF TITUSVILLE WATER RESOURCES DEPARTMENT TECHNICAL SPECIFICATIONS.
- PUMP INFORMATION BASED ON LIBERTY PUMPS SIMPLEX GRINDER PACKAGE 2400-SERIES, MODEL 2448. STATION MUST BE EQUIPPED WITH VENT (OPTION 3, PER LIBERTY PUMPS SIMPLEX GRINDER SYSTEMS INSTALLATION MANUAL).
- CONTRACTOR TO INSPECT INSIDE OF RECEIVING MANHOLE PRIOR TO MAKING CONNECTION. NO RAW CONCRETE SHALL BE EXPOSED, ALL INTERIOR SURFACES OF MANHOLE SHALL BE COATED WITH TWO COATS OF RED-GRAY ACRYLIC EPOXY RAVEN 405 PAINT. EACH COAT SHALL HAVE A DRY FILM THICKNESS OF 8 MILS FOR A TOTAL OF 16 MILS DRY.
- CONNECTION TO THE EXISTING MANHOLE SHALL UTILIZE A KOR-N-SEAL FLEXIBLE PIPE TO MANHOLE CONNECTOR AS MANUFACTURED BY NPC, INC., MILFORD, NH, OR COT APPROVED EQUAL. THE CORE-DRILLED HOLE WILL HAVE A DIAMETER OF 12 INCHES, EQUIPPED WITH A 4-INCH OR 2-INCH BOOT. CORE AND BOOT TO BE GROUTED INSIDE MANHOLE.
- PIPING IS NOT TO EXTEND INTO AND OBSTRUCT THE 8-INCH FLOWLINE INSIDE THE MANHOLE. PENETRATE THE WALL AND MODIFY THE EXISTING BENCH TO DIRECT THE FLOW DOWNSTREAM, AS REQUIRED.
- CONNECTION TO THE RECEIVING MANHOLE VIA AN EXTERIOR DROP TO THE MANHOLE IS PROHIBITED.

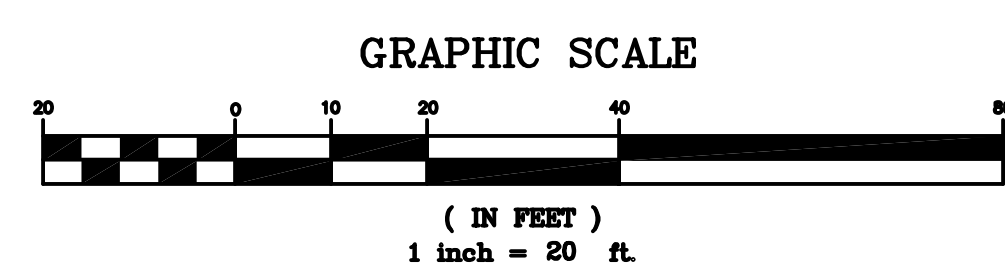
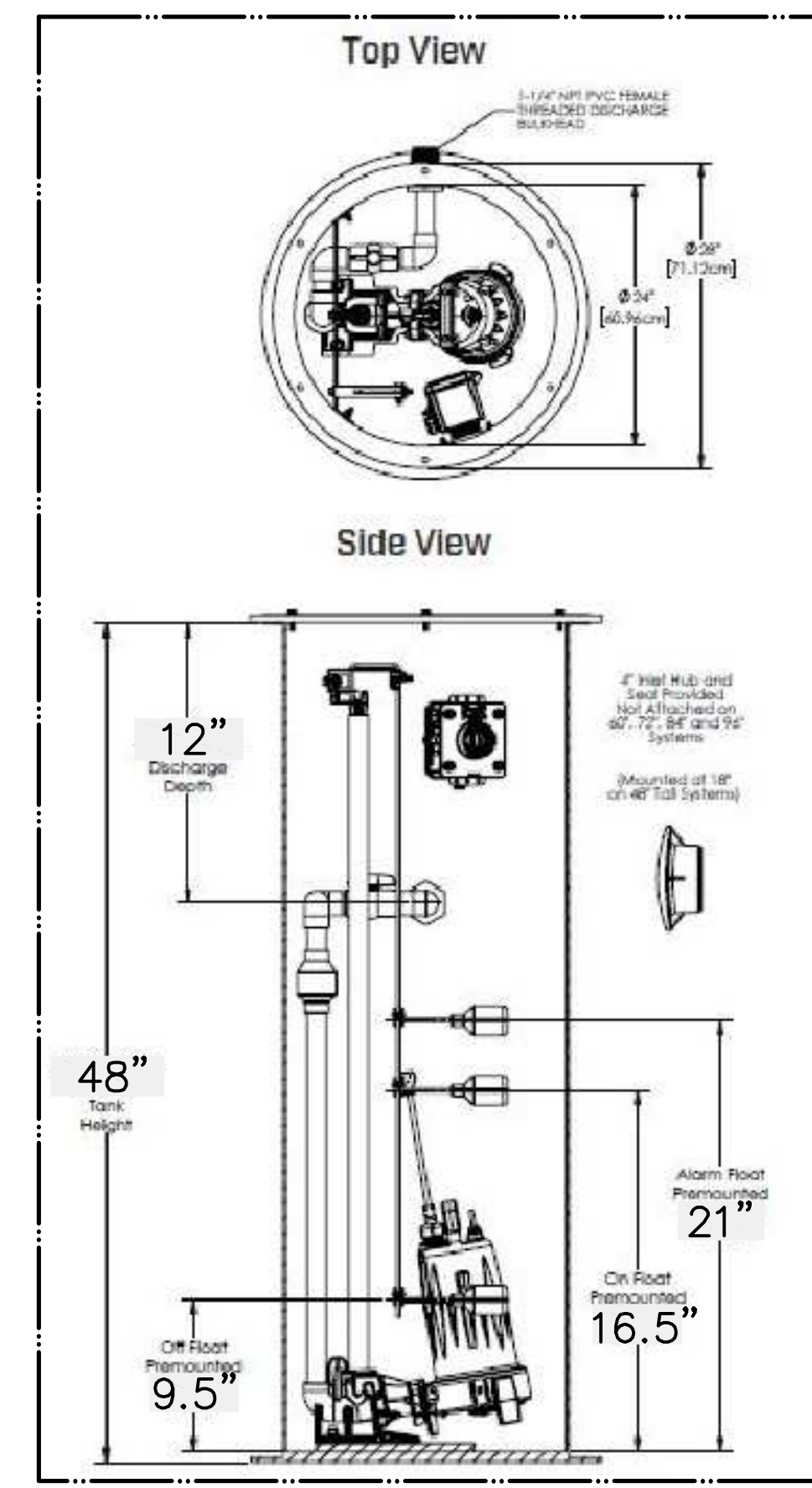
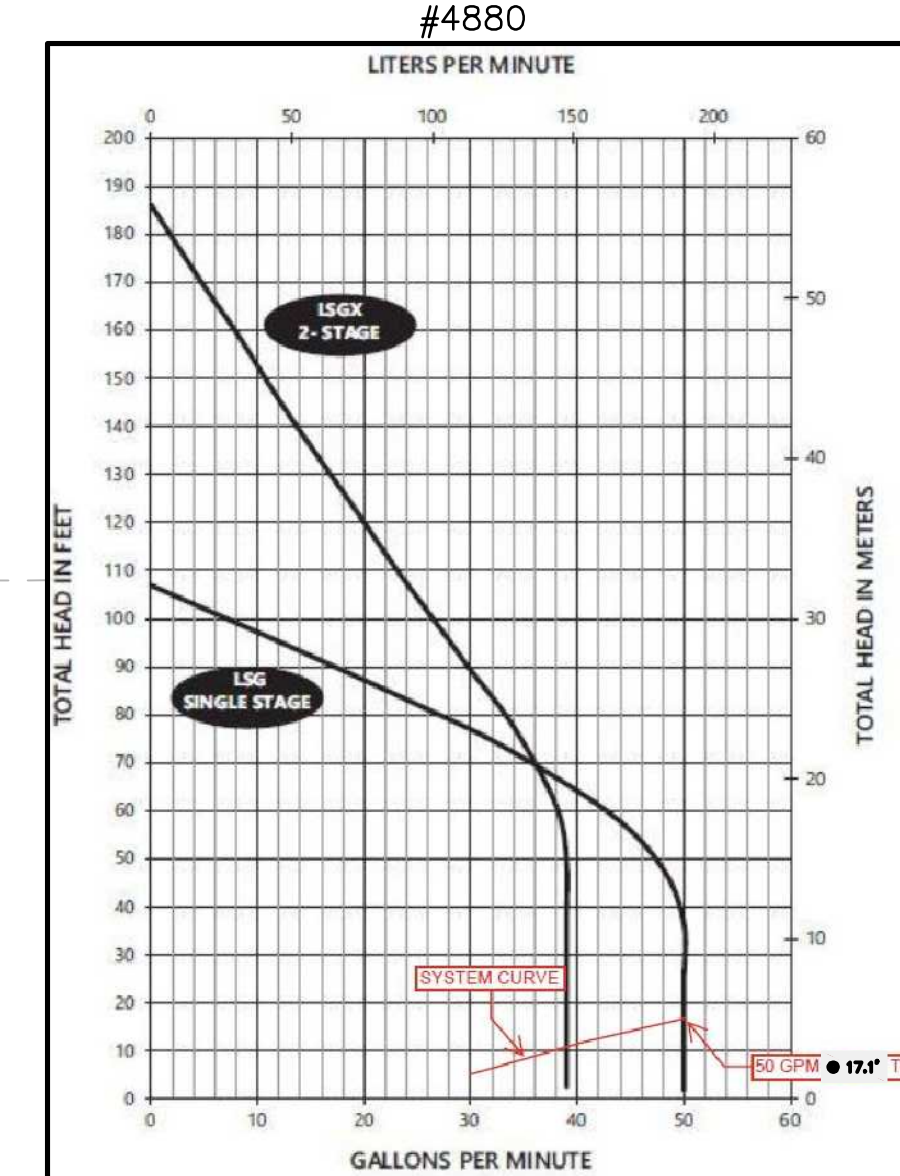
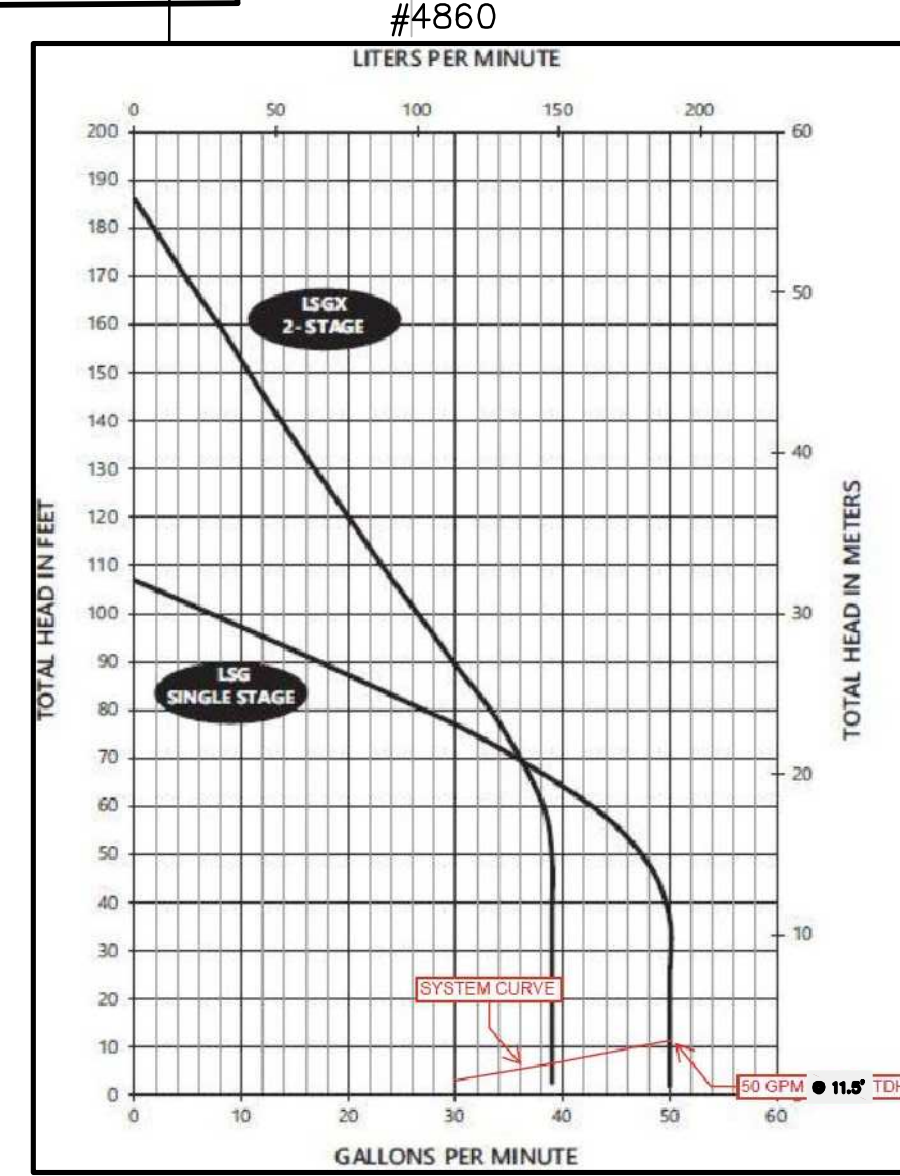
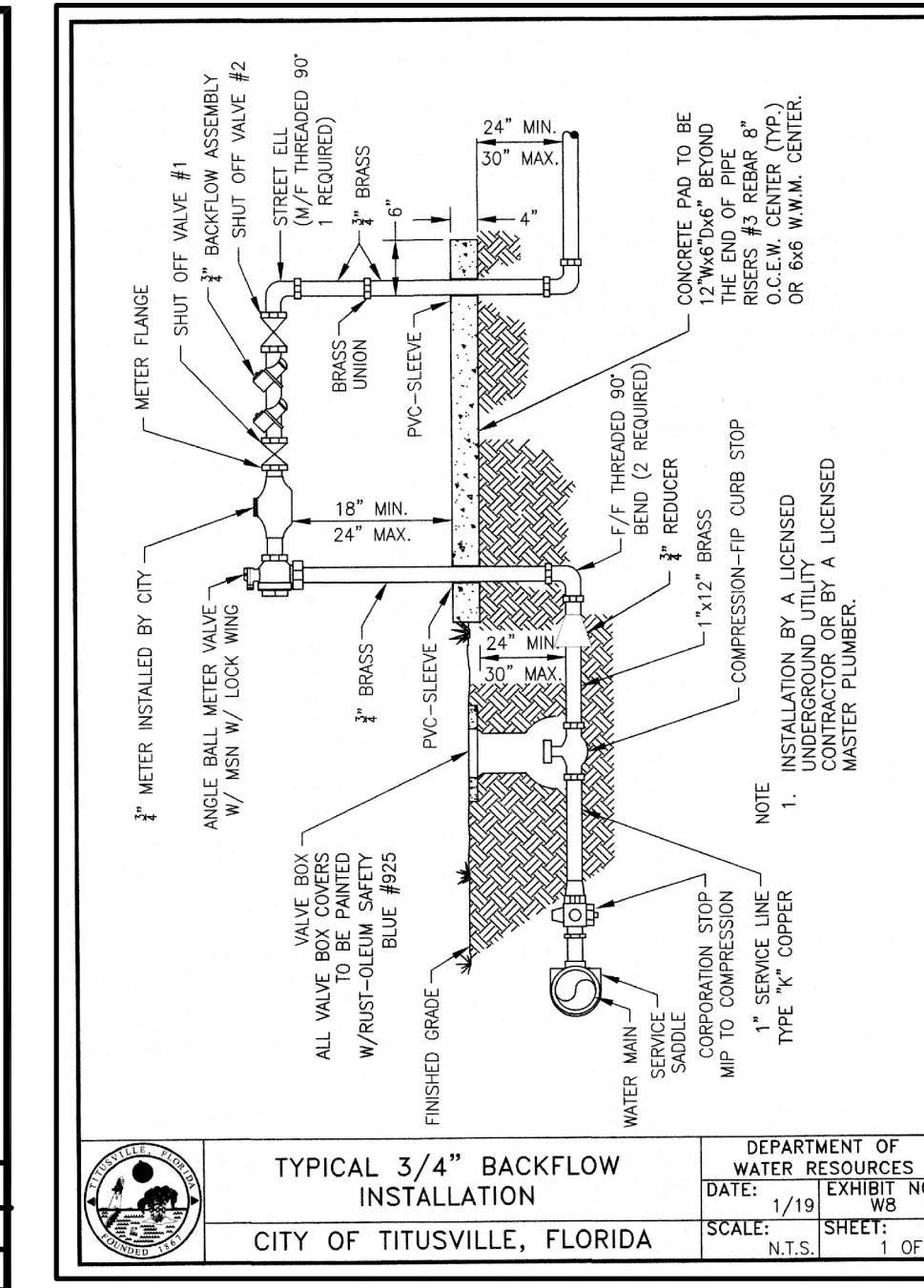
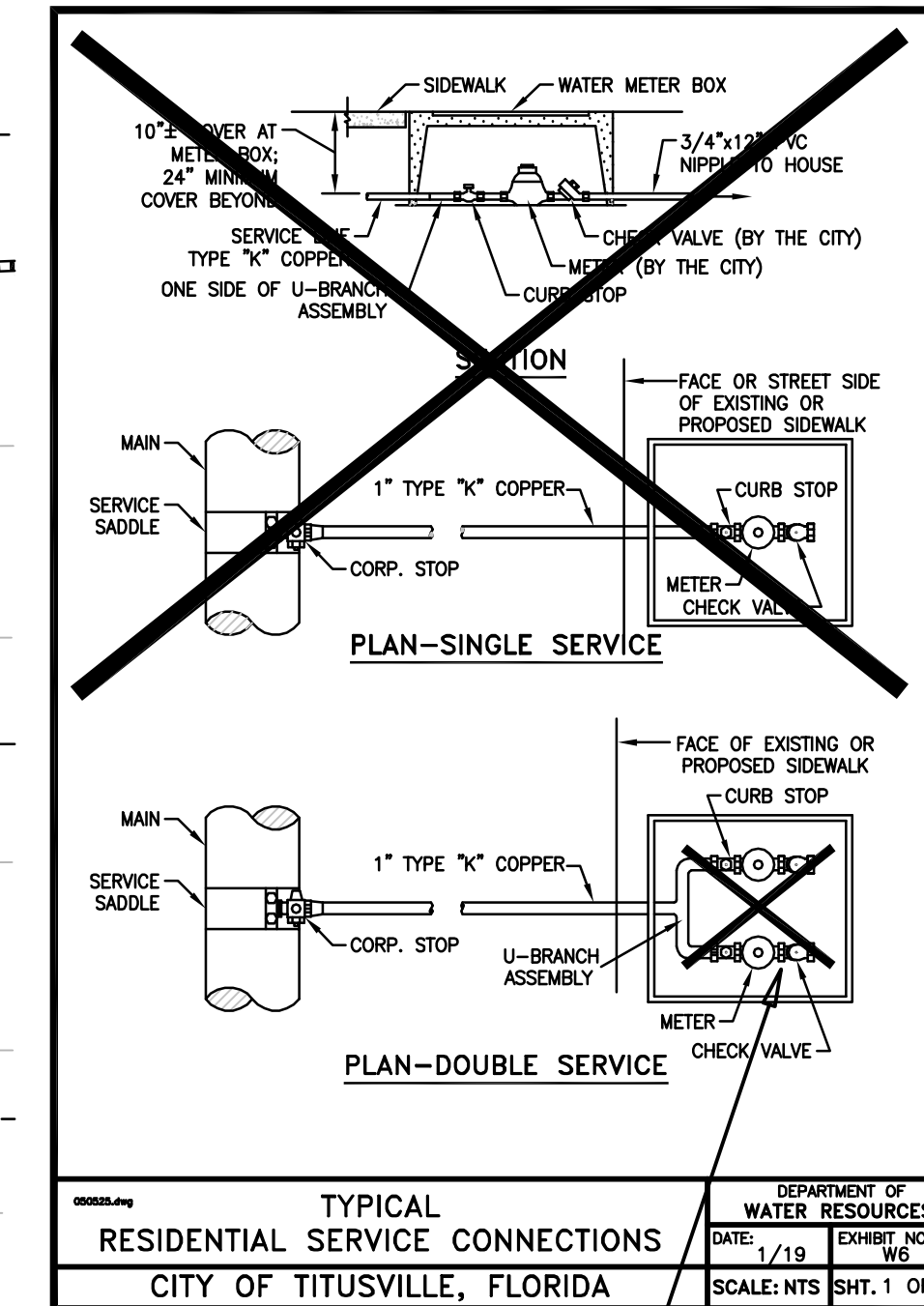
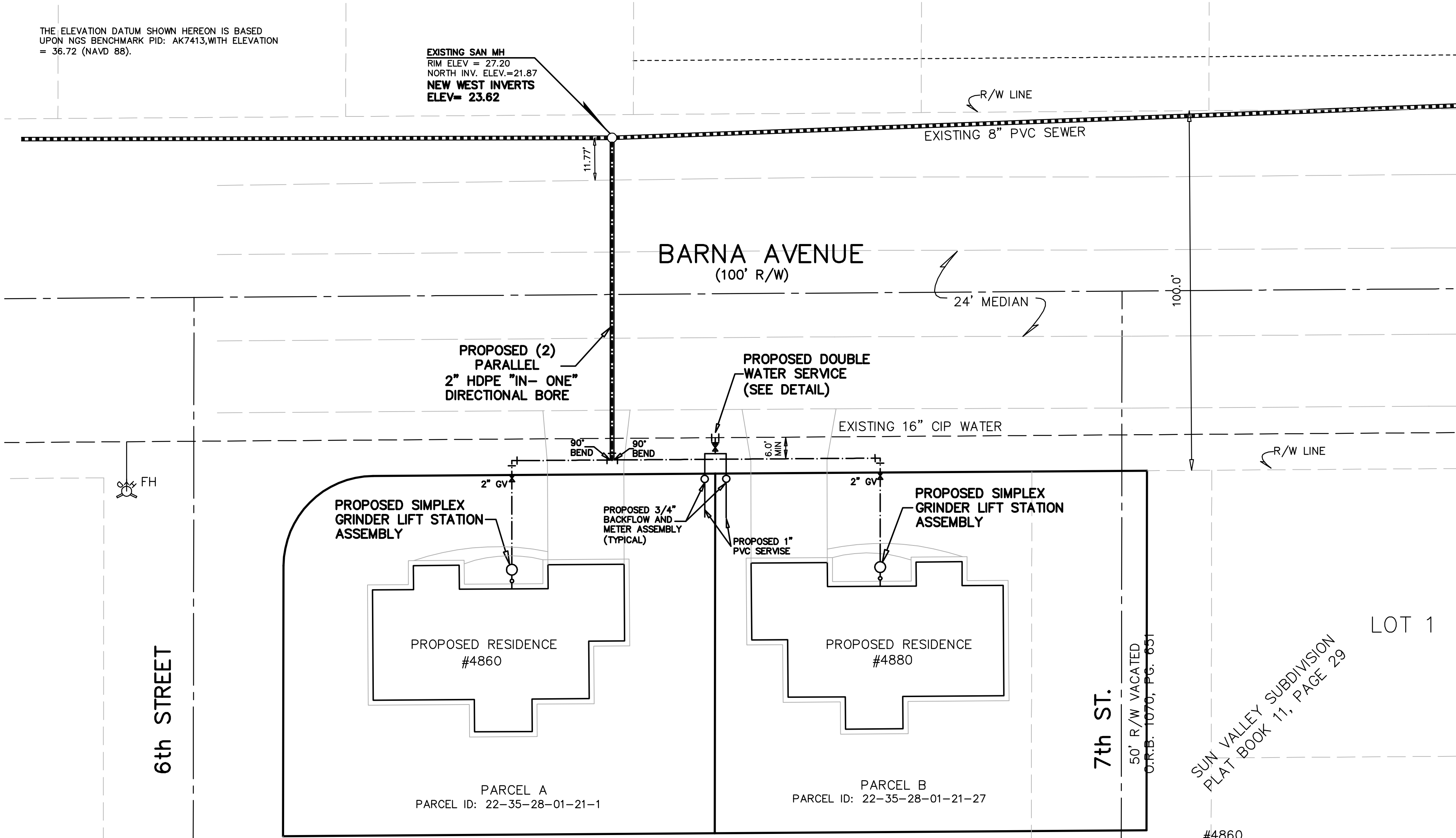
SX-Series Panels - (Standard)
Provide reliable alternating operation.

Features

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WATER / SEWER LATERAL SITE PLAN

UNIVERSAL HOUSING UNITS LLC

CITY OF TITUSVILLE

BREVARD COUNTY

FLORIDA

SHEET NO: 1 OF 2

CAVD FILE: 6TH STREET 20 SC

FILE NO S28 T22S R35E

Honeycutt & Associates, Inc.
ENGINEERS • SURVEYORS • PLANNERS
3700 South Washington Avenue
Titusville, Florida 32780
(321) 267-6233 Fax (321) 269-7847
Certificate of Authorization EB-0007623

HA

DATE	JOB NO.	F.B. NO.	SCALE	DRAWN	APPR.	REVISION	DATE	DATE	CITY	COUNTY	SRVNO	FOOT	CLIENT	OTHER	OTHER
DEC 2025	25955														

THIS ITEM HAS BEEN DIGITALLY SIGNED AND THE DATE ADDED TO THE SEAL. PRINTED COPIES OF THIS SEAL AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONS COPIES.

STATE OF FLORIDA
No. 48917
REGISTERED PROFESSIONAL ENGINEER

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Gateway to Nature & Space



**APPLICATION FOR DEVELOPMENT REVIEW COMMITTEE (DRC)-
TECHNICAL MANUAL WAIVERS**

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Section 34-296 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. **INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.**

1. Project Location	Property Address/Location Description 4860 & 4880 Barna Avenue		
2. Applicant/ Owner	Name of Applicant/Contact Rodney M. Honeycutt		Name of Owner Universal Housing Units, LLC
	Street Address 3700 S. Washington Avenue		Street Address 500 Wyoming Avenue
	City	State	Zip
	Titusville	FL	32780
	City	State	Zip
	St. Cloud	FL	34769
	Telephone # (321) 267-6233		Telephone # (407) 617-3693
	Fax #		Fax #
	E-Mail Address rodney@honeycutt.cc		E-Mail Address
3. Applicant Status	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Other		
4. Parcel ID	22-35-28-01-21-1 & 22-35-28-01-21-27	Tax Acct.	2215081 / 2215094
5. Site Size	Acres: 0.27 & 0.28	Square Feet: 11,761.2 & 12,196.8	
6. Property Information	Current Zoning R-1B	Current Use of Property Vacant Residential Land	
7. Waiver(s) Requested	<i>Section Number</i>	<i>LDR/Technical Manual Requirement</i>	<i>Waiver Requested</i>
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	2) <u>Technical Spec -</u>	2) <u>main shall be less</u>	2) <u>diameter force</u>
	3) <u>Section 5.21</u>	3) <u>than 4-in diameter.</u>	3) <u>main.</u>
	4) _____	4) _____	4) _____
5) _____	5) _____	5) _____	

8. Design Review and or Waivers Required by CRA in DMU Zoning	Property is > 1.5 acres <input type="checkbox"/> Building is > 10,001 square feet in size <input type="checkbox"/> Not applicable (property ≤ 1.5 acres or building ≤ 10,000 square in size) <input checked="" type="checkbox"/>
9. Narrative	<p>Please provide a brief description of your request and the proposed project:</p> <p>The project will provide water and sewer services for two (2) single family residences. The sewer service for each residence will be by a small lift station and force main that will tie into an existing City manhole in the right of way. The portion of the proposed force main in the right of way will be City owned/maintained.</p> <p>The proposed lift station force main is a 2-inch diameter pipe. The proposed lift station capacity pump provides 50 gallons per minute (gpm). The minimum velocity in a force main is 2 feet per second (fps), per FDEP. The maximum size pipe that provides the 2 fps at 50 gpm is 2-inch diameter. The City's Water Resources Technical Specifications, Section 5.21 requires a minimum 4-inch diameter force main.</p> <p>This request is a waiver from the DRC to allow less than a 4-inch diameter force main in the right of way for this project.</p>

- **All applications shall require Community Development staff review prior to submittal.**
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This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the DRC Committee and or the Community Redevelopment Agency (CRA) on this topic to properly noticed public meetings or to written communication to the Redevelopment Planner for DMU waivers and the Development Services Manager for Technical Manual waivers, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/ _____ (Date)
(Signature*)

** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.*

Date received: _____

Accepted by: _____



City of Titusville

Staff Report

DEVELOPMENT REVIEW COMMITTEE (DRC) - #4-2026

Waiver Request for Orange Plumbing at 4880 Barna Avenue

Meeting Date:	January 29, 2026
Prepared By:	Mandy Lamothe, Deputy Community Development Director
Applicant(s):	Rodney Honeycutt, P.E.
Applicant's Request:	To allow a sanitary sewer force main to be two (2) inches less in diameter than the City's required minimum size of four (4) inches in diameter.
Staff Recommendation:	Consideration of the proposed waiver request

Background Information

The applicant, Rodney Honeycutt, is requesting the Development Review Committee (DRC) grant the following waiver:

1. To the criteria specified in the City's Water Resources Department Technical Specification Section 5.20 which states that "No sanitary sewer main conveying wastewater shall be less than eight (8) inches in diameter nor shall any City owned force main be less than four (4) inches in diameter."

The applicant has requested a waiver to allow a sanitary sewer force main size to be two (2) inches less than the City's required minimum size of four (4) inches in diameter.

Waiver Criteria

Pursuant to Section 34-286 of the Code, the DRC has the authority to waive this requirement using the following review criteria specified in Section 34-288:

1. The alternative standards promotes flexibility and environmental soundness in layout and design; or
2. The proposed new standards are appropriate to the proposed type of development; or
3. The property exhibits physical constraints that prevent the implementation of provisions of the City's technical manuals and the waiver would allow the implementation of the code provision to the greatest extent possible; or
4. The waiver would be based on the latest best professional practices that would not be possible in implementing the code provision.

Analysis

The applicant is requesting a waiver to the requirement that no sanitary sewer force main size be less than four (4) inches in diameter. The applicant is proposing a two (2) inch diameter sewer force main to a private lift station.

Recommendation

The Development Review Committee (DRC) should weigh the physical constraints involved with the property in order to implement the code to the greatest extent possible and also consider the criteria for waivers in Sec. 34-288.

Pursuant to Section 34-289 of the Code, the DRC shall review waiver applications with staff comments and either approve, approve with conditions or deny the request by a majority of the attending committee members. Any appeals to the decision of the DRC shall be heard by the Board of Adjustment and Appeals within thirty (30) days after the decision has been rendered.

NOTES:

- CONTRACTOR MUST MAINTAIN 6' MINIMUM HORIZONTAL SEPARATION BETWEEN EXISTING WATER MAIN AND PROPOSED FORCE MAIN.
- FORCE MAIN MUST BE ROUTED UNDER PROPOSED WATER SERVICE WITH MINIMUM 18" VERTICAL SEPARATION.
- FORCE MAIN MUST BE INSTALLED AND TESTED PER CITY OF TITUSVILLE WATER RESOURCES DEPARTMENT TECHNICAL SPECIFICATIONS.
- PUMP INFORMATION BASED ON LIBERTY PUMPS SIMPLEX GRINDER PACKAGE 2400-SERIES, MODEL 2448. STATION MUST BE EQUIPPED WITH VENT (OPTION 3, PER LIBERTY PUMPS SIMPLEX GRINDER SYSTEMS INSTALLATION MANUAL).
- CONTRACTOR TO INSPECT INSIDE OF RECEIVING MANHOLE PRIOR TO MAKING CONNECTION. NO RAW CONCRETE SHALL BE EXPOSED, ALL INTERIOR SURFACES OF MANHOLE SHALL BE COATED WITH TWO COATS OF RED-GRAY ACRYLIC EPOXY RAVEN 405 PAINT. EACH COAT SHALL HAVE A DRY FILM THICKNESS OF 8 MILS FOR A TOTAL OF 16 MILS DRY.
- CONNECTION TO THE EXISTING MANHOLE SHALL UTILIZE A KOR-N-SEAL FLEXIBLE PIPE TO MANHOLE CONNECTOR AS MANUFACTURED BY NPC, INC., MILFORD, NH, OR COT APPROVED EQUAL. THE CORE-DRILLED HOLE WILL HAVE A DIAMETER OF 12 INCHES, EQUIPPED WITH A 4-INCH OR 2-INCH BOOT. CORE AND BOOT TO BE GROUTED INSIDE MANHOLE.
- PIPING IS NOT TO EXTEND INTO AND OBSTRUCT THE 8-INCH FLOWLINE INSIDE THE MANHOLE. PENETRATE THE WALL AND MODIFY THE EXISTING BENCH TO DIRECT THE FLOW DOWNSTREAM, AS REQUIRED.
- CONNECTION TO THE RECEIVING MANHOLE VIA AN EXTERIOR DROP TO THE MANHOLE IS PROHIBITED.

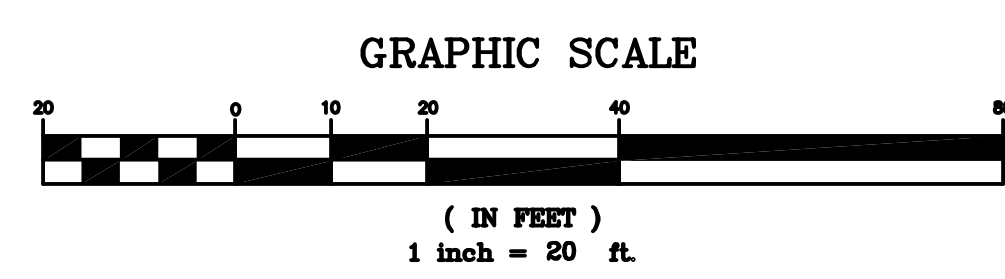
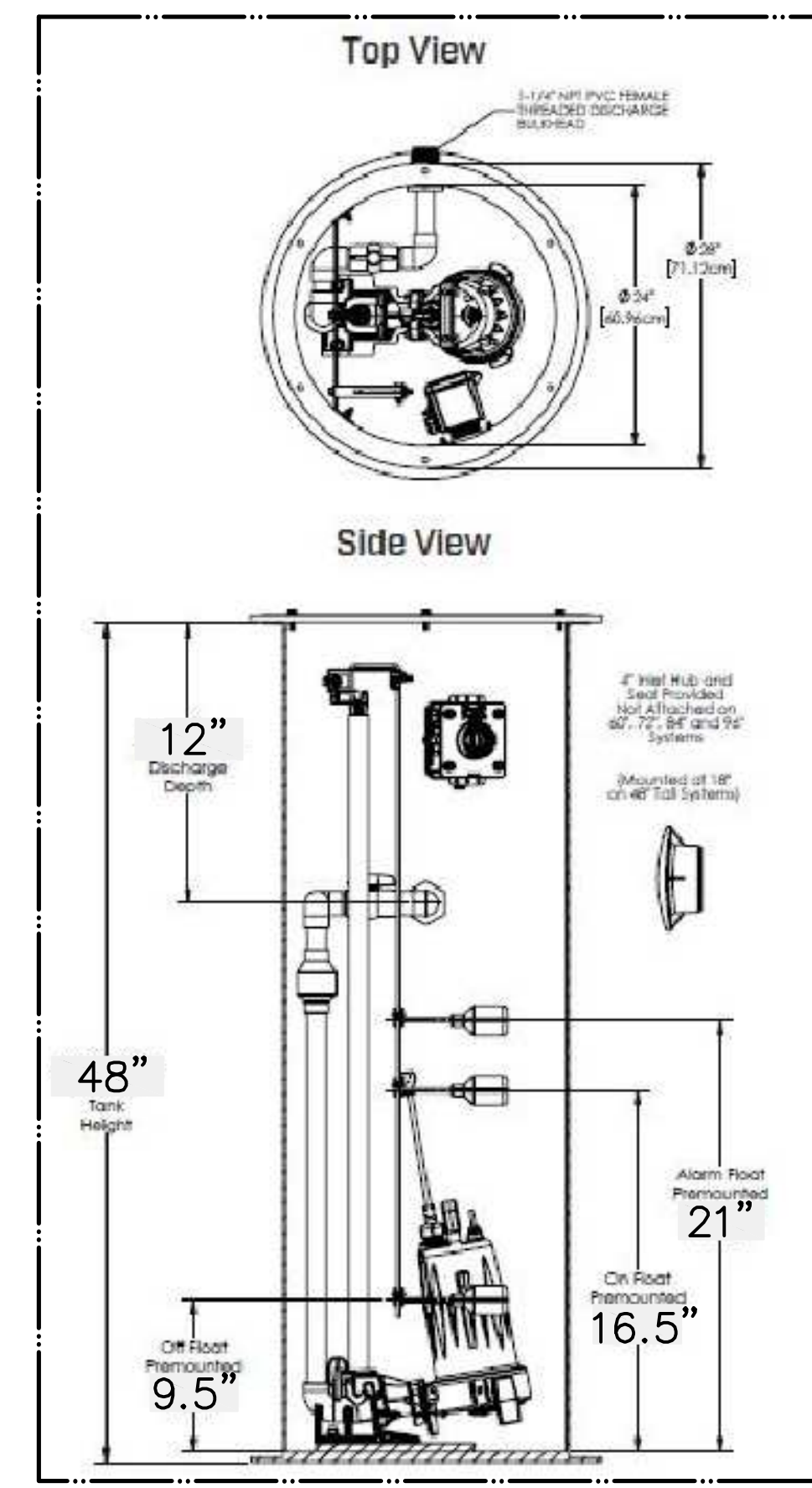
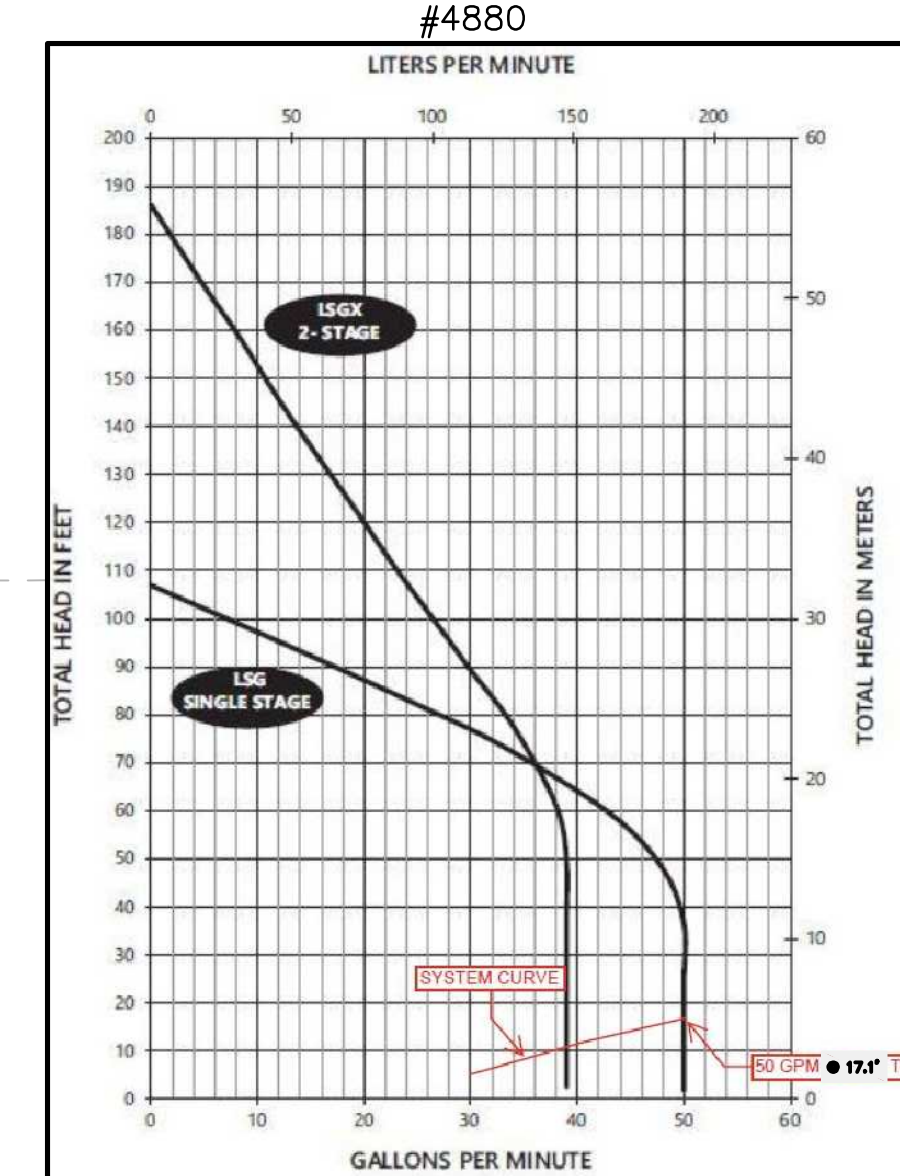
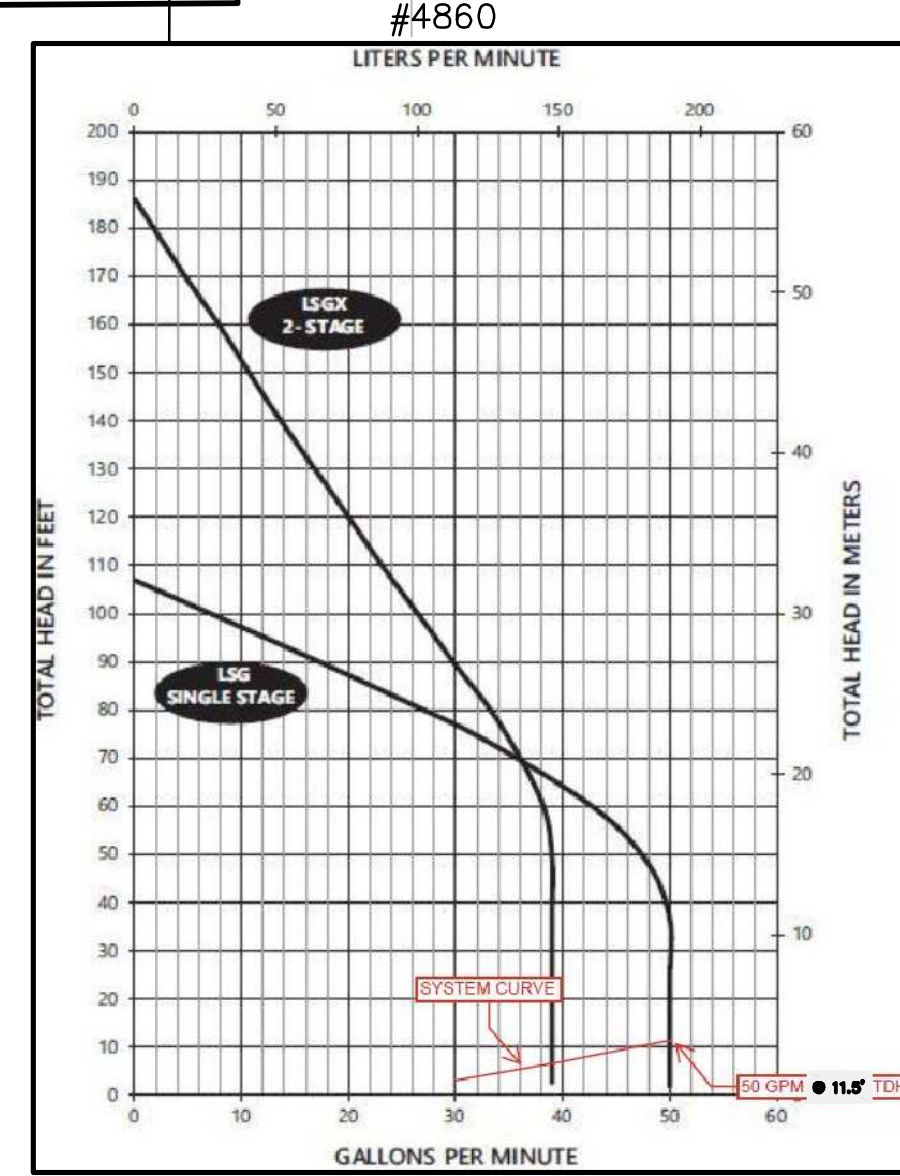
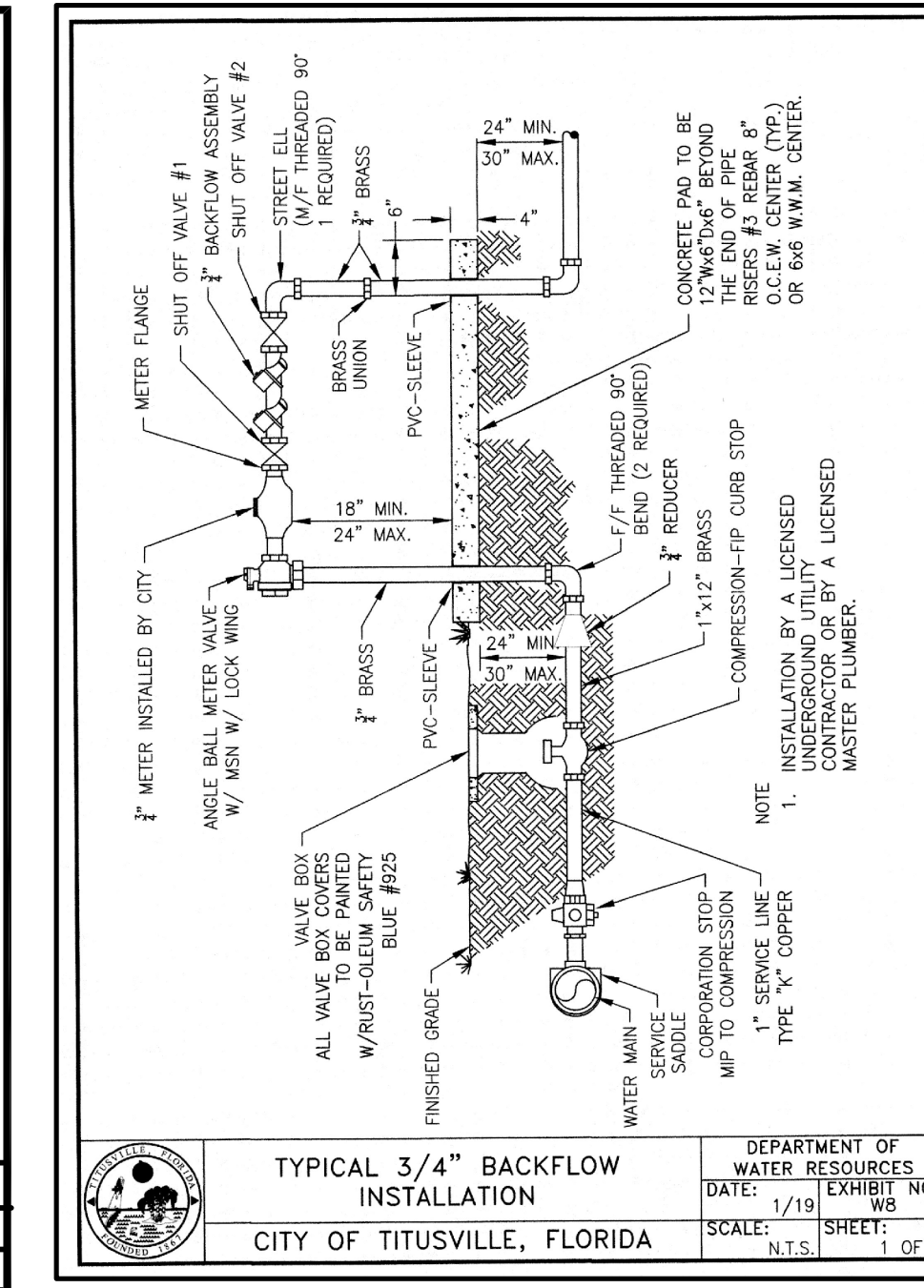
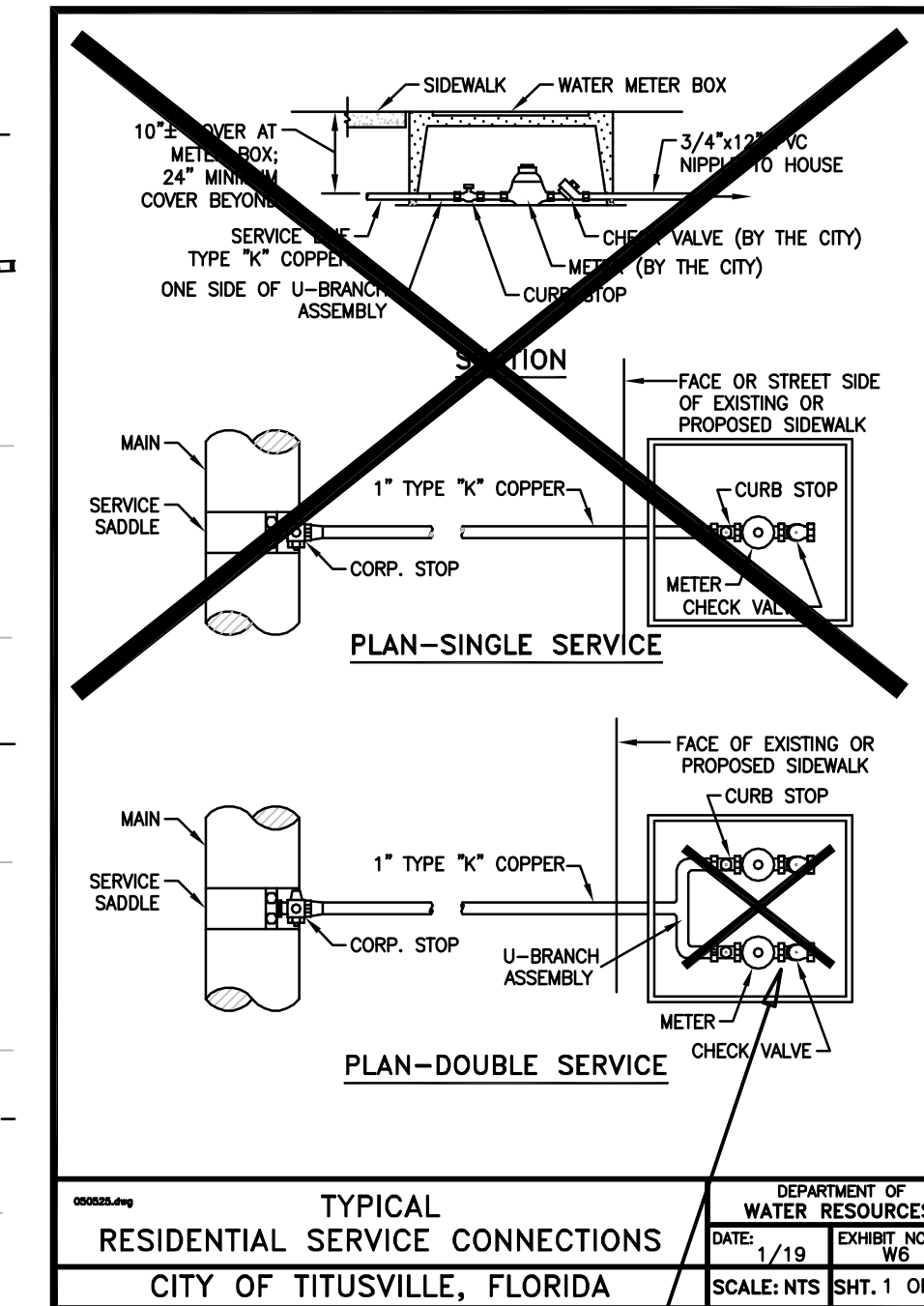
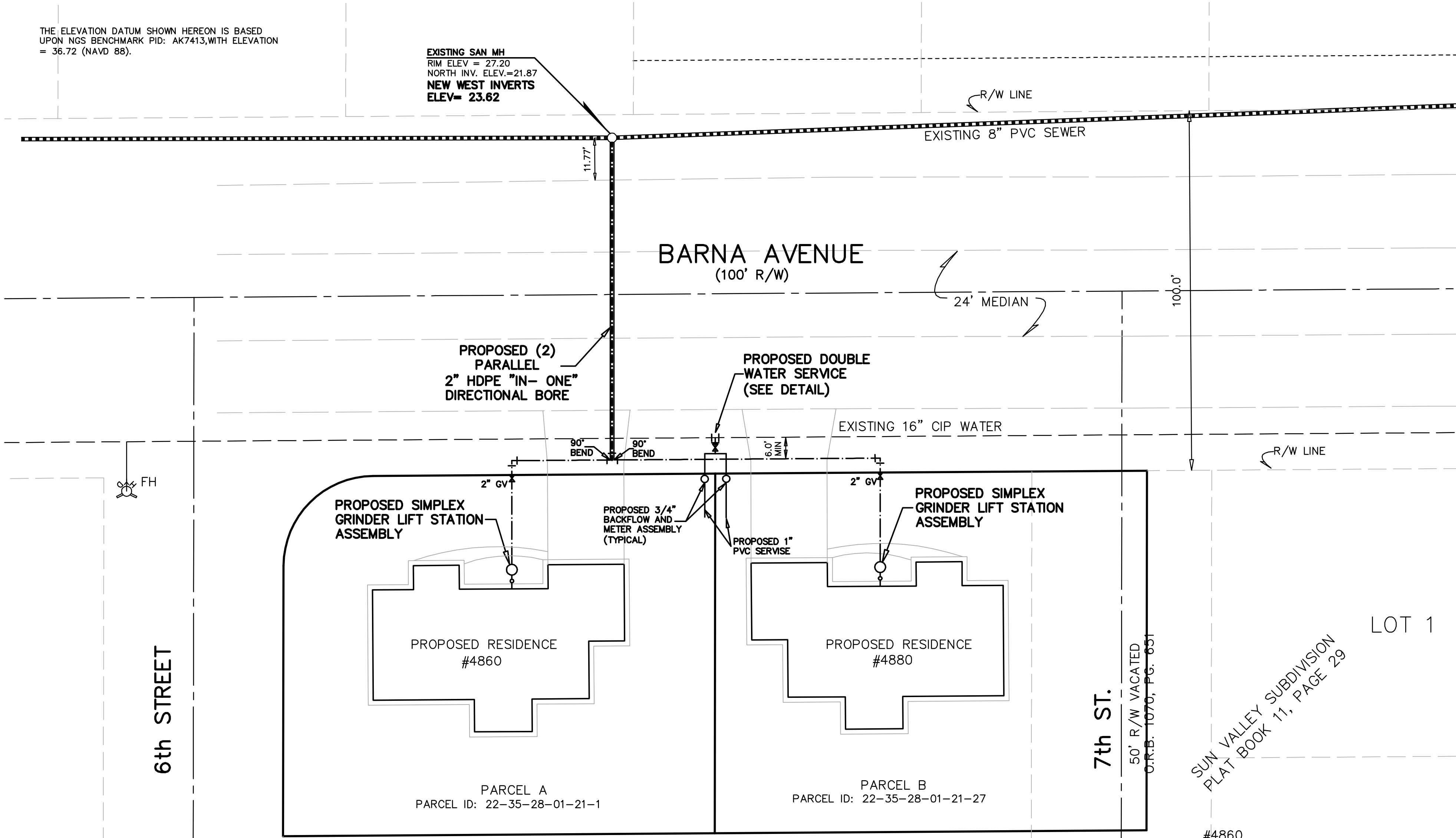
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WATER / SEWER LATERAL SITE PLAN
UNIVERSAL HOUSING UNITS LLC
CITY OF TITUSVILLE
BREVARD COUNTY
FLORIDA

SHEET NO: 1 OF 2
CAVD FILE: 6TH STREET 20 SC
FILE NO: S28 T22S R35E

DATE: DEC 2025
JOB NO.: 25955

APPR. RHH
DRAWN: STG
SCALE: AS SHOWN
F.B. NO.:
JOB NO.: 25955

REVISION

DATE: DATE

CITY COUNTY SURVIMD FOOT CLIENT OTHER OTHER

THIS ITEM HAS BEEN DIGITALLY SIGNED AND THE DATE ADDED TO THE SEAL. PRINTED COPIES OF THIS SEAL AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONS COPIES.

STATE OF FLORIDA
No. 48917
REGISTERED PROFESSIONAL ENGINEER

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ENGINEERS • SURVEYORS • PLANNERS
3700 South Washington Avenue
Titusville, Florida 32780
(321) 267-6233 Fax (321) 269-7847
Certificate of Authorization EB-0007623

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