



## CITY OF TITUSVILLE

### BOARD OF ADJUSTMENT AND APPEALS

#### AGENDA

##### Regular Meeting

February 25, 2026 - 6:00 PM

Council Chamber at City Hall

555 South Washington Avenue, Titusville, FL 32796

Any person who decides to appeal any decision of the Board of Adjustments and Appeals, with respect to any matter considered at this meeting, will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City desires to accommodate persons with disabilities. Accordingly, any physically handicapped person, pursuant to Chapter 286.26 Florida Statutes, should at least 48 hours prior to the meeting, submit a written request to the chairperson of the meeting that the physically handicapped person desires to attend.

#### **Notice**

All persons who anticipate speaking on any Public Hearing item must fill out an Oath Card to be heard on that agenda item and sign the oath contained thereon. These cards are located on the table near the entrance to the Council Chamber or may be obtained from the Recording Secretary. This meeting will be conducted in accordance to the procedures adopted in Resolution No. 24-1997.

Those speaking in favor of a request will be heard first, those opposed will be heard second, and those who wish to make a public comment on the item will speak third. The applicant may make a brief rebuttal if necessary. A representative from either side, for or against, may cross-examine a witness.

Anyone who speaks is considered a witness. If you have photographs, sketches, or documents that you desire for the Commission to consider, they must be submitted into evidence and will be retained by the City. Please submit such exhibits to the Recording Secretary.

Applicants for land use and zoning related items are advised that the resumes of staff members who prepare applicable staff reports are on file in the City Clerk's Office.

#### **1. CALL TO ORDER**

**2. PLEDGE OF ALLEGIANCE**

**3. ROLL CALL AND DETERMINATION OF A QUORUM**

**4. APPROVAL OF MINUTES**

**A. January 28, 2026 Minutes**

Approve January 28, 2026 Minutes

**5. QUASI-JUDICIAL CONFIRMATION PROCEDURES**

**A. Verify all persons wishing to speak before the committee has signed an Oath Card.**

**B. Chairman confirms that all agenda items have been properly advertised.**

**C. Member's statements if they have visited any of the sites or spoken to any members of the public regarding an item to be reviewed today.**

**6. CONSENT AGENDA**

**7. OLD BUSINESS**

**8. NEW BUSINESS**

**A. Variance (VAR) No. 3-2026, 1400 N Washington Ave**

Consider the requested variance to allow a ground sign to exceed the maximum surface area of one hundred fifty (150) square feet, for a property located at 1400 N Washington Ave, Titusville, FL.

**B. Variance (VAR) No. 4-2026, 2035 Cheney Hwy**

Consider the requested variance to Chapter 32, Section 32-9. Ground sign regulations, subsection 32-9(e) to allow a development to have more than one (1) ground sign and Chapter 32, Section 32-10, Wall sign regulations, subsection 32-10(a)(2) to allow additional wall signs for a building that has only one (1) street frontage (on an existing paved ROW), for a property located at 2035 Cheney Hwy, Titusville, FL.

**C. Variance (VAR) No. 5-2026, Parcel ID # 22-35-26-00-504.1**

Consider the requested variance to allow a mini-warehouse to provide parking at a rate less than one (1) space for each twenty-five (25) storage cubicles and two (2) spaces for the manager's quarters, for a property with Parcel ID # 22-35-26-00-504.1.

**9. PETITIONS AND REQUESTS FROM THE PUBLIC PRESENT**

**10. REPORTS**

**11. ADJOURNMENT**



**City of Titusville**  
"Gateway to Nature and Space"

REPORT

**To:** Members of the Board of Adjustment and Appeals

**From:**

**Subject:** **January 28, 2026 Minutes**

**Department/Office:** Development Services

**Recommended Action:**

Approve January 28, 2026 Minutes

**Summary Explanation & Background:**

**Alternatives:**

**Item Budgeted:**

**Source/Use of Funds/Budget Book Page:**

**Strategic Plan:**

**Strategic Plan Impact:**

**ATTACHMENTS:**

1. BAA 1-28-26 Draft

DRAFT

**Board of Adjustments and Appeals  
Regular Meeting  
January 28, 2026**

The Board of Adjustments and Appeals (BAA) of the City of Titusville, Florida, met in regular session in Council Chambers, on Wednesday, January 28, 2026.

*XXX*

Chairman Thomas Taylor called the meeting to order at 6:00 p.m. and asked the assembly to recite the Pledge of Allegiance to the Flag.

*XXX*

Present were Chairman Thomas Taylor, Vice-Chairwoman Margaret Van Deven, Member, Member Gina Beckles, Member John Greene and Alternate Member Nathan Rothell. Member Richard Wheelus and Alternate Member Carshonda Wright were absent. Also, in attendance were Planner Tabitha Armstrong, Sr. Administrative Assistant Kim Amick and Assistant City Attorney David Melito. It was determined that a quorum was present.

*XXX*

Vice-Chairman Van Deven made a motion to approve the December 8, 2025 minutes. Member Beckles seconded. There was a unanimous voice vote.

*XXX*

Chairman Thomas Taylor confirmed the quasi-judicial procedures verifying that all persons wishing to speak before the board has signed an oath card.

*XXX*

Tabitha Armstrong confirmed that all agenda items had been properly advertised.

*XXX*

Chairman Thomas Taylor called for members' statements if they had visited any of the sites.

*XXX*

**Consent Agenda Items**

None.

DRAFT

XXX

**Old Business**

None.

XXX

**New Business**

Chairman Taylor stated item 8C which was an appeal has been withdrawn per the applicant so it will not be heard. Ms. Armstrong stated that is correct.

XXX

Variance 1-2026 – 2010 Logan Drive

Tabitha Armstrong reviewed the staff report and explained what the applicant was requesting.

Clayton Human with American Eco Systems Contractors Inc., of Titusville, Florida, spoke in favor of this item.

Mike Natale of Titusville, Florida, spoke against this item. Mr. Natale had photographs for the Board.

Clayton Human of Titusville, Florida gave a short rebuttal.

Discussion followed on this item.

The Board called Mr. Natale back up for further questions.

Discussion followed on this item.

Vice-Chairwoman Van Deven made a motion to approve Variance 1-2026, 2010 Logan Drive to allow a reduced lot width from 75 feet to 50 feet.

Member Greene seconded.

Roll call was as follows:

Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes
Member Greene	Yes
Alternate Member Rothell	Yes

Motion passed.

XXX

DRAFT

Vice-Chairwoman Van Deven made a motion to deny the request to reduce the required interior side yard setback from 10 feet to 5 feet. The variance is not the minimum variance that will make possible the reasonable use of the land, building or structure. Granting the variance requested would confer upon the applicant any special privilege that is denied by the ordinance to other lands, buildings or structures in the same zoning district.

Member Beckles seconded.

Roll call was as follows:

Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes
Member Greene	No
Alternate Member Rothell	No
Chairman Taylor	Yes

Motion passed.

XXX

Variance 2-2026 – 2108 Malinda Lane

Tabitha Armstrong reviewed the staff report and explained what the applicant was requesting.

John Morrow of Titusville, Florida, spoke in favor of this item.

Rebecca Morrow of Titusville, Florida, spoke in favor of this item.

Discussion followed on this item.

Member Greene made a motion to approve Variance 2-2026 at 2108 Malinda Lane.

Vice-Chairwoman Van Deven seconded.

Roll call was as follows:

Member Beckles	Yes
Member Greene	Yes
Alternate Member Rothell	Yes
Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes

Motion passed

XXX

DRAFT

**Petitions and Requests from the Public Present**

None.

*XXX*

**Reports**

**Semi-Annual Report**

Chairman Taylor stated they have the Semi-Annual Report to present to Council.

Chairman Taylor asked when the report would be presented to Council.

Assistant City Attorney Melito stated February 10.

*XXX*

Staff – Tabitha stated there is an application for the meeting on February 25, 2026.

Attorney – None.

Chairman – None.

Members – None.

Adjournment was at 6:49 p.m.

**City of Titusville**  
"Gateway to Nature and Space"

REPORT

**To:** Members of the Board of Adjustment and Appeals  
**From:** Bradley Parrish, Community Development Director  
**Subject:** **Variance (VAR) No. 3-2026, 1400 N Washington Ave**  
**Department/Office:** Planning

**Recommended Action:**

Consider the requested variance to allow a ground sign to exceed the maximum surface area of one hundred fifty (150) square feet, for a property located at 1400 N Washington Ave, Titusville, FL.

**Summary Explanation & Background:**

The applicant is requesting a variance to the Land Development Regulations (LDR), Chapter 32, Section 32-9, Ground sign regulations, subsection 32-9(a) to allow a ground sign to exceed the maximum surface area of one hundred fifty (150) square feet, for a property located in the General Use (GU) zoning district, at 1400 N Washington Ave, Titusville, FL 32796, as submitted by Marshall Stanton, authorized applicant for Temple Baptist Church of Titusville, Owner.

**Alternatives:**

**1. Approve the Variance**

Motion to approve VAR #3-2026, to allow a ground sign to exceed the maximum surface area of one hundred fifty (150) square feet, for a property located at 1400 N Washington Ave, Titusville, FL.

**2. Deny the Variance**

Motion to deny VAR #3-2026, to allow a ground sign to exceed the maximum surface area of one hundred fifty (150) square feet, for a property located at 1400 N Washington Ave, Titusville, FL. (State criteria for denial)

**3. Other**

**Item Budgeted:**

N/A

**Source/Use of Funds/Budget Book Page:**

**Strategic Plan:**

**Strategic Plan Impact:**

**ATTACHMENTS:**

1. VAR 3-2026 Staff Report
2. Application
3. Sign Location
4. Sign Specs
5. Letter from Pastor
6. Code
7. Maps



# City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 3-2026, 1400 N Washington Ave**

3 **Meeting Date:** February 25, 2026

4 **Prepared By:** Tabitha Armstrong, AICP - Planner

5 **Applicant:** Marshall Stanton, authorized applicant for Temple Baptist Church of  
6 Titusville, Owner

7 **Background**

8 (a) Variance request: The applicant is requesting a variance to the Land Development  
9 Regulations (LDR), Chapter 32, Section 32-9, Ground sign regulations, subsection  
10 32-9(a) to allow a ground sign to exceed the maximum surface area of one hundred  
11 fifty (150) square feet, for a property located in the General Use (GU) zoning  
12 district, at 1400 N Washington Ave, Titusville, FL 32796, as submitted by Marshall  
13 Stanton, authorized applicant for Temple Baptist Church of Titusville, Owner.

14 (b) Location: 1400 N Washington Ave, Titusville, FL. Tax No. 2105403. Parcel I.D.  
15 21-35-28-00-517

16 (c) Land Description: PLAT OF LA GRANGE THAT PT OF LAGRANGE PLAT  
17 LYING S OF COUNTY RD AS DESC IN ORB 1158 PG 184, SW 1/4 OF NW 1/4  
18 OF SW 1/4 SE 1/4 OF NW 1/4 OF SW 1/4, W OF RR PARS 518, 519

19 (d) Future Land Use: Public/Semi-Public

20 (e) Zoning: General Use (GU)

21 (f) Surrounding Zoning Districts.

22 1. North: Community Commercial (CC) & Brevard County

23 2. South: Hospital Medical (HM)

24 3. East: Community Commercial (CC), Light Industrial Services & Warehousing  
25 (M-1), Hospital Medical (HM), & Public (P).

**Board of Adjustments and Appeals: Variance No. 3-2026**

1           4. West: General Use (GU) & Brevard County

2           (g) Lot Characteristics: The subject property is approximately 18.94 acres (825,026 sq.  
3           ft) with roughly 885 feet of frontage along US Highway 1. These dimensions meet  
4           the minimum 130,680 sq ft lot area and 200-foot lot width for a lot within the  
5           General Use (GU) zoning district.

6           (h) Uses: Church

7           **Powers of the BAA**

8           LDR Section 34-226 states that the Board shall grant a variance request when in the  
9           opinion of the Board of Adjustments and Appeals, owing to special conditions, the  
10          literal enforcement of such ordinance or regulations would do manifest injustice to, or  
11          impose an unnecessary hardship upon the applicant. In order to authorize any variance  
12          to the provisions of such ordinance, the Board must consider the following criteria:

13          (a) Special conditions and circumstances exist which are peculiar to the land,  
14          structure, or building involved and which are not applicable to other lands,  
15          structures or building in the same zoning.

16          (b) Special conditions and circumstances do not result from the actions of the  
17          applicant.

18          (c) Granting the variance requested will not confer upon the applicant any special  
19          privilege that is denied by the ordinance to other lands, buildings or structures in  
20          the same zoning district.

21          (d) The literal interpretation of the provisions of the ordinance would deprive the  
22          applicant of rights commonly enjoyed by other properties in the same zoning  
23          district under the terms of the ordinance.

24          (e) The variance granted is the minimum variance that will make possible the  
25          reasonable use of the land, building or structure.

26          (f) The granting of the variance will preserve the spirit of the ordinance and remain  
27          in harmony with its general purpose and intent.

28          (g) In granting the variance, the public safety and welfare must be assured.

29          (h) In no case shall the granting of a variance result in a change of use, which would  
30          not be permitted in that zone.

31          **Analysis**

32          The applicant is requesting a variance from Chapter 32, Section 32-9(a) of the Land  
33          Development Regulations (LDR) to allow a ground sign to exceed the maximum  
34          permitted surface area. The subject property is located at 1400 N. Washington

**Board of Adjustments and Appeals: Variance No. 3-2026**

1 Avenue within the General Use (GU) zoning district and consists of approximately  
2 18.94 acres on which an existing church is located.

3 Section 32-9 of the LDR establishes that the total aggregate area of all ground or  
4 monument signs for a development shall not exceed thirty-two (32) square feet per  
5 acre, with sites exceeding one acre permitted additional signage surface area  
6 calculated at the same rate up to a maximum of one hundred fifty (150) square feet  
7 per sign. Based on the acreage of the subject property, the maximum permitted  
8 surface area for an individual ground or monument sign is one hundred fifty (150)  
9 square feet.

10 The applicant proposes the installation of a monument-style ground sign with an  
11 overall height of approximately nineteen feet eleven inches (19'-11") and a width of  
12 seventeen feet six inches (17'-6"). Monument signs are calculated in accordance with  
13 Section 32-8(f)(3)(b), which measures the entire surface area of the monument sign  
14 structure minus an eighteen-inch border along the top and sides and a twenty-four-  
15 inch border along the bottom to determine the copy area. Based on the submitted  
16 plans, the proposed sign includes a copy area of one hundred fifty (150) square feet  
17 and an overall structural surface area of approximately three hundred fifty (350)  
18 square feet. The proposed sign location is situated more than one hundred (100) feet  
19 from the right-of-way and approximately ten (10) feet from the property line. The  
20 East Central Florida Regional Rail Trail is located between the right-of-way and the  
21 subject property, resulting in an increased setback distance from the roadway.

22 The request does not demonstrate the presence of special conditions or circumstances  
23 unique to the property that would prevent reasonable use of the site under the existing  
24 sign regulations. The property's size, configuration, and frontage do not appear to  
25 present site-specific conditions that limit the ability to comply with the maximum  
26 permitted sign surface area. Alternative design approaches, including adjustments to  
27 sign configuration, lettering size, or internal layout, may be utilized to achieve  
28 visibility objectives while remaining within the permitted sign surface area.

29 **Recommendation**

30 Staff recommend **denial** of the requested variance to allow a ground sign of three  
31 hundred fifty (350) square feet to exceed the maximum surface area of one hundred  
32 fifty (150) square feet. The request does not demonstrate the existence of special  
33 conditions or circumstances that are peculiar to the land, structure, or building and that  
34 are not applicable to other properties within the same zoning district. The variance  
35 requested is not the minimum necessary for the reasonable use of the property, as a  
36 ground sign meeting the maximum permitted surface area of one hundred fifty (150)  
37 square feet may be installed in compliance with the existing regulations, and alternative  
38 design configurations are available to achieve visibility while remaining within the  
39 permitted sign surface area.



To be Completed by Staff

Application No. \_\_\_\_\_

Date Received: \_\_\_\_\_

Received by: \_\_\_\_\_

### APPLICATION FOR VARIANCE

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.

<b>1. Project Location</b>	Property Address/Location Description 1400 N. Washington Street Titusville, FL 32796		
<b>2. Applicant/ Owner</b>	Name of Applicant/Contact Marshall Stanton		Name of Owner Temple Baptist Church of Titusville
	Street Address 580 Guss Hipp Blvd.		Street Address 1400 N Washington Street
	City	State	Zip
	Rockledge, FL 32955		Titusville, FL 32796
	Telephone # (321) 636-5116 Fax # (321)636-0402		Telephone # (321)269-1133 Fax #
E-Mail Address marshall@kendalsigns.com		E-Mail Address office.templebc@gmail.com	
<b>3. Applicant Status</b>	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Other		
<b>4. Parcel ID</b>	21-35-28-00-517	<b>Tax Acct.</b>	2105403
<b>5. Site Size</b>	Acres: 18.94	Square Feet: 825026.4	
<b>6. Property Information</b>	Current Zoning GU - General Use		Current Use of Property Church/School
<b>7. Variance(s) Requested</b>	<i>Section Number</i>	<i>LDR Requirement</i>	<i>Variance Requested</i>
	1) Sec. 32-9(a)	1) 150sf	1) 350sf
	2)	2)	2)
	3)	3)	3)
	4)	4)	4)
5)	5)	5)	
<b>8. Narrative</b>	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application) Installation of a ground sign with a copy area of 150sf and an overall surface area of 350sf.		

**All applications shall require Community Development staff review prior to submittal.**

- All applications shall be submitted to the Department electronically and officially logged in by 4:00 p.m. on deadline dates. Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information is submitted. Meeting dates for incomplete applications will not be set until all required information is submitted.
- Petitions requiring review from other boards or commissions prior to being forwarded to the Board of Adjustments and Appeals (BAA) are not guaranteed placement on the BAA schedule available on the City's website.

**ACKNOWLEDGEMENT**

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the City Council, Board of Adjustment & Appeals, and Planning & Zoning Commission on this topic to properly noticed public hearings or to written communication to the City Clerk's Office, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/

(Signature\*)

(Date)

*\* By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.*

**FOR OFFICE USE ONLY**

Date Received: \_\_\_\_\_  
Accepted By: \_\_\_\_\_  
Hearing Date: \_\_\_\_\_  
Case Number: \_\_\_\_\_

## Grounds For Granting A Variance

Section 31-51 of the Land Development Regulations of the City of Titusville empowers the Board of Adjustments and Appeals to grant variances to the requirements of the Land Development Regulations and certain other codes and/or ordinances. The Board may grant a variance if, in their opinion, the strict enforcement of these rules would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district. In granting a variance, the Board must consider whether or not the applicant's particular situation meets a certain set of criteria established in Section 34-226 of the Land Development Regulations. These criteria are as follows:

- (a) Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
- (b) Special conditions and circumstances do not result from the actions of the applicant.
- (c) Granting the variance requested will not confer upon the applicant any special privilege that is denied by the ordinance to other lands, buildings or structures in the same zoning district.
- (d) The literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance.
- (e) The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
- (f) The granting of the variance will preserve the spirit of the ordinance and remain in harmony with its general purpose and intent.
- (g) In granting the variance, the public safety and welfare must be assured.
- (h) In no case shall the granting of a variance result in a change of use which would not be permitted in that zoning district.

## Variance Justification

In answering the questions below, please be as specific as possible. Your answers will help the Board of Adjustments and Appeals and City staff to properly evaluate your variance request.

(Please attach a separate sheet if necessary)

1. Why are you unable to comply with the requirements? What hardship or injustice are you claiming?

The hardship the owner has is that the property has an additional setback from US1 of over 100ft due to the Rail Trail easement between the church property and US1. The normal setback requirement for signs is 10ft from the front property line. The increased setback from US1 creates a special hardship for the property owner. The variance request for an increase in sign surface area from 150sf to 350sf will allow for a larger sign that will offset the hardship of the additional setback. Furthermore the additional sign surface area will be used toward architectural accents, not towards additional copy area. Temple Baptist Church desires to present a more modern and updated sign for the citizens of the Titusville community. The intent of the variance is to beautify and modernize the existing Temple Baptist Church sign while also making a more appealing and welcoming sign to those traveling into our community.

2. What is special about your property that would justify treating it differently than most other properties? (Examples of important special conditions include: narrow or odd shaped lot; excessive slope of land; soil or drainage limitations; unusual location of existing buildings on the lot; etc.) If the special conditions involve an existing building or structure, when was it built and are you the original owner?

The Temple Baptist church property has an additional setback of over 100ft from US1 when compared to similar properties in the area due to the State of Florida East Central Regional Rail Trail easement (formerly The Atlantic Coast, St. Johns & Indian River Railroad). The variance request to increase the sign surface area will offset the decreased visibility due to the increased setback from US1.

3. Is your variance request the minimum change from the requirements that you need to overcome your hardship? Explain your answer. (For example, suppose you are requesting a 5 foot variance to the side yard setback requirement in order to build a single car garage 15 feet wide. Your request would not be the minimum since a single car garage 11 feet wide would be adequate and would only require a 1 foot variance.)

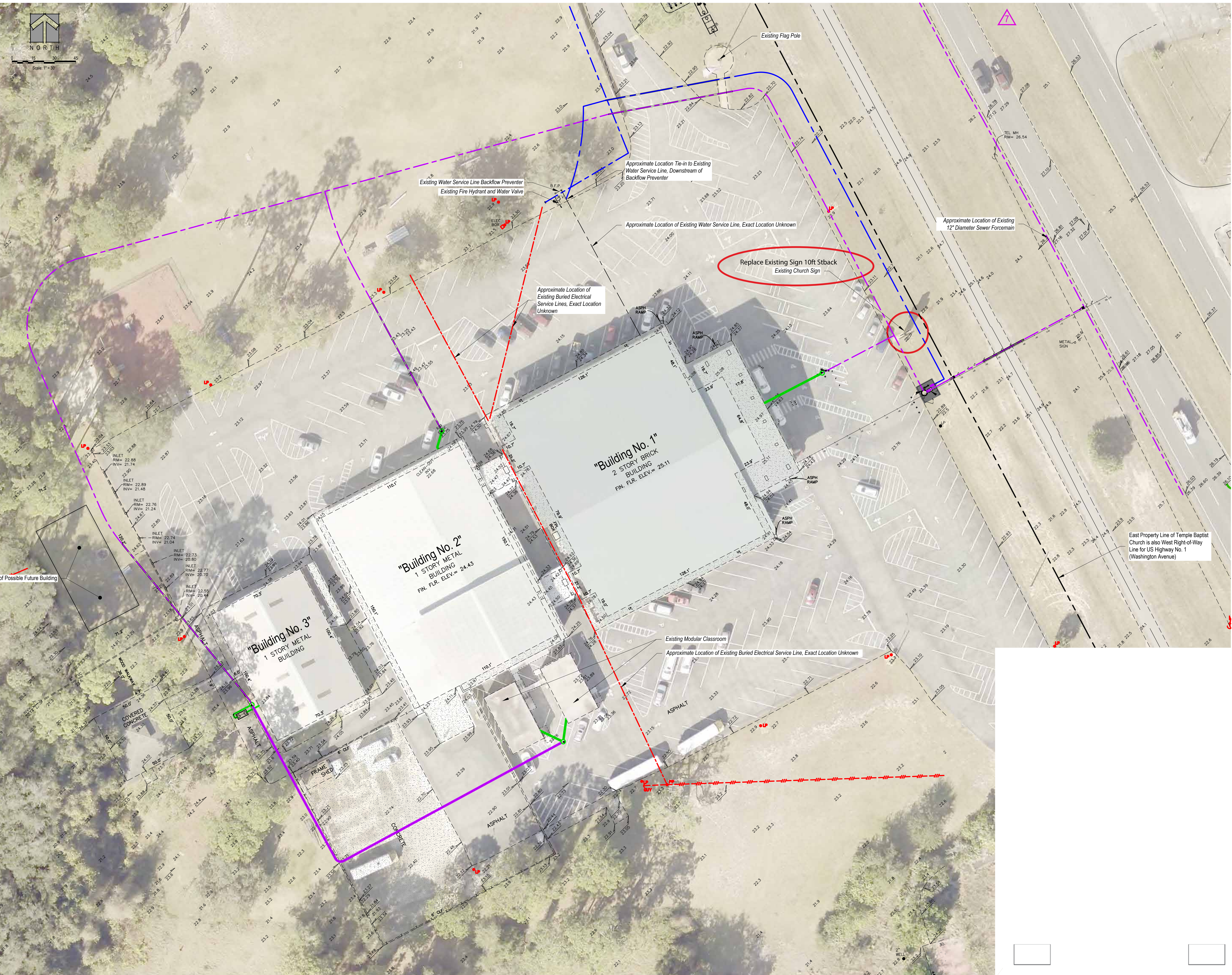
The request of 350sf sign surface area keeps the sign copy area (advertising space) to 150sf which is the allowable sign area per. If the same 150sf sign copy area was installed as a single or support pole (i.e. pylon sign) the sign would be permissible. The additional 200sf is utilized for the architectural decorative accent of the sign (base, columns and cap) to beautify the sign, not to increase the advertising space.

4. Explain why approval of your variance request would not likely result in harm to your neighbor's properties or to the general public.

The additional sign surface area/size will be used to beautify the sign and property. It will not be used to increase the advertising space therefore giving them no advantage over neighboring properties. The sign is located over 100ft from the ROW so the additional sign area will cause no liability to vehicle or pedestrian traffic. The increased size will make the sign more visible and therefore safer for people driving and looking for the church property. The Temple Baptist Church property is one of the first developed properties fronting on US1 that travelers encounter as they enter into the Titusville City limits. The Church desires to present an attractive and clean property, building and sign to travelers entering into the City limits from the North US1 corridor.

**ABBREVIATIONS LEGEND**

- B/O = Blow Off Valve
- B.F.P. = Back Flow Preventer
- BLDG. = BUILDING
- C. = Calculated
- C.B.S. = Concrete Block Stucco
- C.B. = Concrete Block
- ¢ = Centerline
- C.L.F. = Chain Link Fence
- C.L.R. = Clear
- C.M. = Concrete Monument
- C.M.P. = Corrugated Metal Pipe
- C.P.P. = Corrugated Polyethylene Pipe
- C/O = Clean Out
- COL = Column
- CONC. = Concrete
- COVD = Covered
- D. = Dead
- D.H. = Drill Hole
- EL or ELEV. = Elevation
- ENCR. = Encroachment
- FD = Found
- FIN. FL. ELEV. = Finish Floor Elevation
- F.P.L. = Florida Power and Light
- INV. = Invert
- I.P. = Iron Pipe
- I.R. = Iron Rod
- IRR. = Irrigation
- LP = Light Pole
- (M) = Measured
- M = Meter
- MH = Man Hole
- ND = Nail & Disk
- ORB \_\_\_ PG. = Official Records Book and Page
- P = Plat
- P.C. = Point of Curvature
- P.C.C. = Point of Compound Curvature
- P.C.P. = Permanent Control Point
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- P.O.T. = Point of Termination
- PP = Power Pole
- P.R.C. = Point of Reverse Curvature
- P.R.M. = Permanent Reference Monument
- PROP. = Proposed
- P.T. = Point of Tangency
- P.U. & D. ESMT = Public Utility & Drainage Easement
- PVC = Polyvinyl Chloride Pipe
- PVMT = Pavement
- RES. = Residence
- R.P. = Radius Point
- R.C.P. = Reinforced Concrete Pipe
- R.W. = Right-of-way
- SB = Setback
- SBT = Southern Bell Telephone
- SV = Sanitary Sewer Valve
- TD = Truncated Domes
- TYP = Typical
- VCP = Vitrified Clay Pipe
- WM = Water Meter
- WV = Water Valve
- Δ = Delta Angle



**m s e**  
**morrissmith**  
 engineering

Florida Board of Professional Engineers CA No. - 31119

Civil Engineering  
 Land Development Permitting  
 Land Surveying  
 Visualization

1754 Barker Street NE  
 Palm Bay, Florida 32907  
 (321) 745-0234 Cell  
 (321) 723-2311 Desk

morris@morrissmitheng.com

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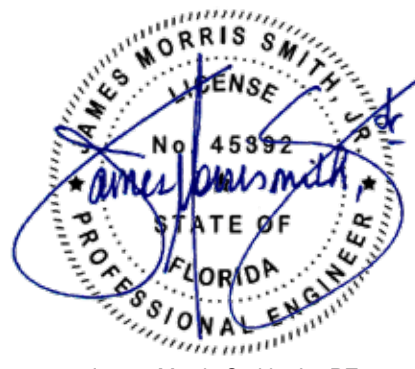
©2019 James Morris Smith, Jr., PE, PSM LLC  
 Original Drawing Issue Date: 05-17-2019



**Temple Baptist Church**  
 "A Vision for the World,  
 A Place for Your Family"

**Site Address:**  
 1400 N. Washington Av  
 Titusville, FL 32796

**Proposed Sign Layout Location**



James Morris Smith, Jr., PE  
 Florida License 45392  
 April 15th, 2020

Project No.:	18-1004
Drawn By:	JMS
Site Designed By:	JMS
Civil Design By:	JMS
Drawing Scale:	1" = 30'

Sheet LP1 Page 3 of 14

(N.T.S.)

# GROUND SIGN

## JOB SPECIFICATIONS:

Manufacture & install One (1) new internally-illuminated ground sign with EMC.

Cabinet to be fabricated .125" aluminum - primed and painted beige.

Pole skirt and columns to be fabricated aluminum with El Dorado stone Mountain Ledge Panels "Silverton" stone panel veneer, applied to pole skirt and columns.

Two horizontal accent bars/reveals, to be prime coated and painted.

Top Main ID "TEMPLE BAPTIST CHURCH" to be routed push through with 3/4" white acrylic.

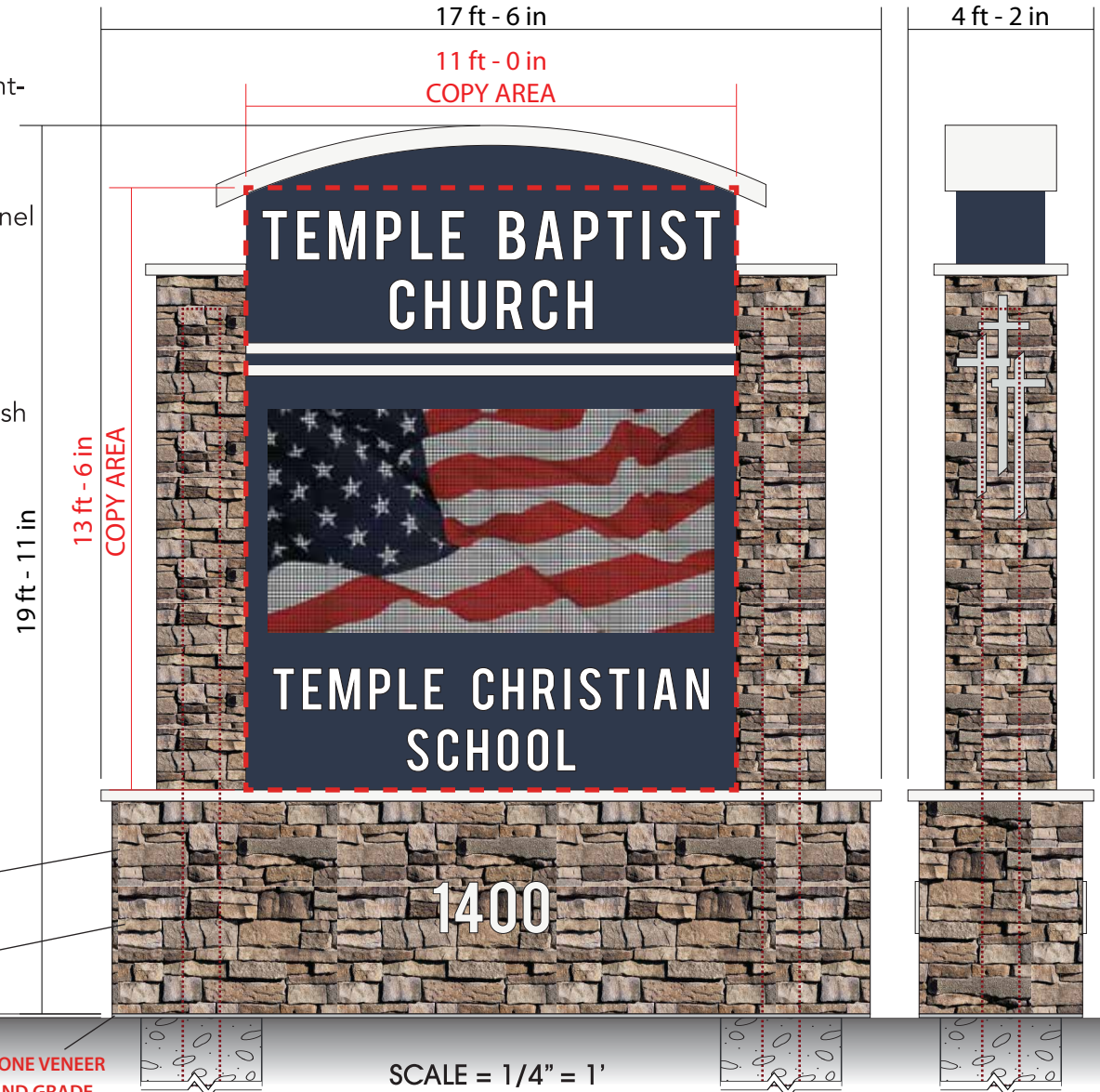
Secondary copy "TEMPLE CHRISTIAN SCHOOL" to be routed push through with 3/4" white acrylic.

Middle section to be 10mm 5' X 10' full color EMC.

Cross logos and address number FCOs to be 1/2" acrylic, primed and painted. Mounted with 1/2" FCOs.

Install on new 10" steel support poles in direct embedded concrete footers. Support poles concealed by pole skirt.

El Dorado stone  
Mountain Ledge Panels  
"Silverton"



**SIGN COPY AREA**  
11'0" X 13'6" =  
148.5 SQFT

STONE VENEER APPLIED TO POLE SKIRT  
POLE SKIRT TO CONCEAL SUPPORT POLES

1 in  
1" ANGLE TO SUPPORT STONE VENEER  
1" GAP BETWEEN SIGN AND GRADE

SCALE = 1/4" = 1'

580 GUS HIPP BLVD. ROCKLEDGE, FL 32955 TEL: 321-636-5116 FAX: 321-636-0402

### COLOR SCHEDULE

PAINT BEN. MOORE OC-65 CHANTILLYLACE  
PAINT BM DEEP ROYAL 2061-10

### SIGNATURE FOR APPROVAL:

DATE:	
3-27-25	4-14-25
4-25-25	5-21-25
5-27-25	8-27-25
8-27-25	

**CUSTOMER NOTICE**  
Kendal Signs will endeavor to match colors specified. We cannot guarantee exact matches due to varying compatibility of materials used. Final dimensions may vary from within this drawing. An exact scaled drawing will be provided upon your request.

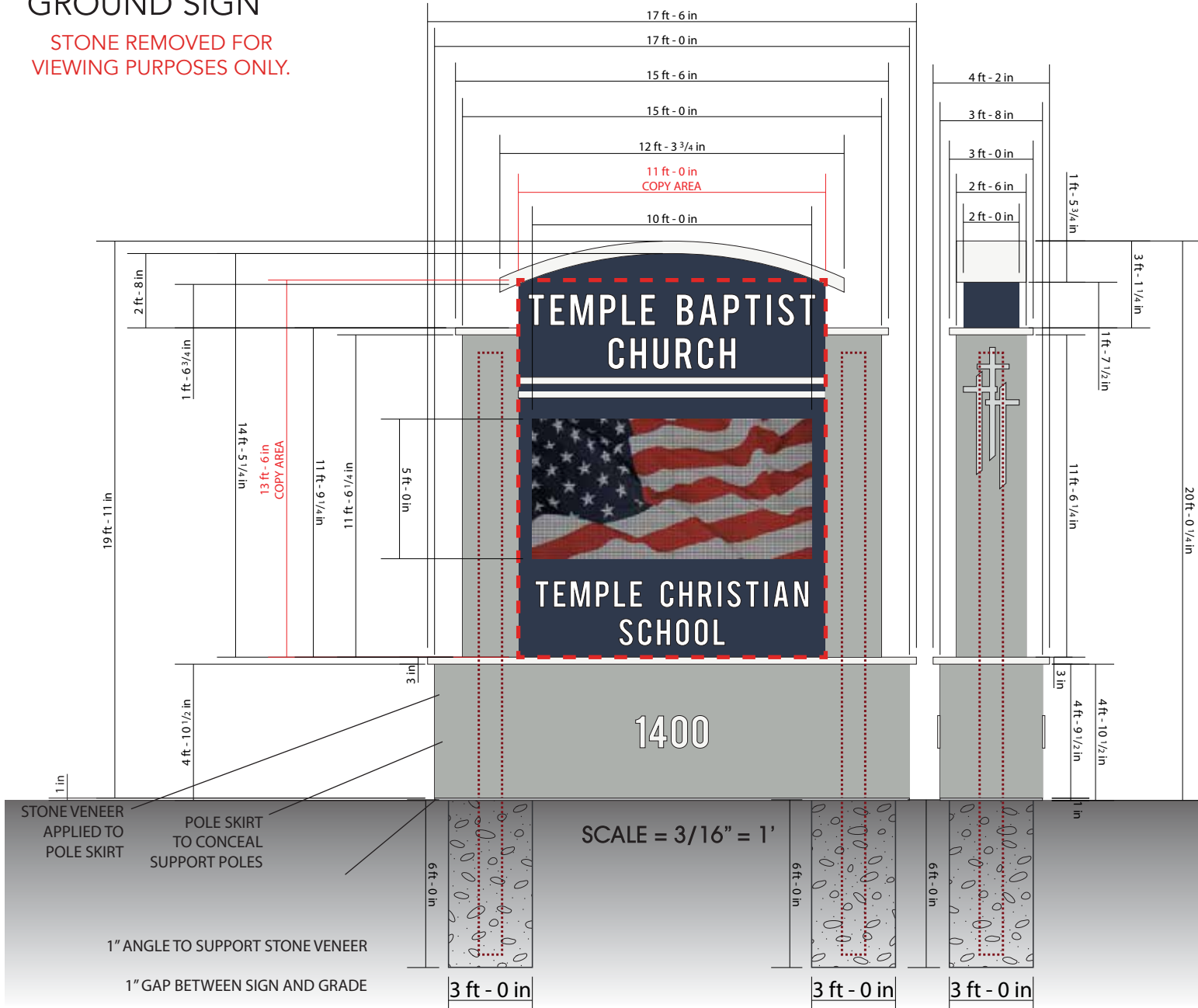


**Customer:** Temple Baptist Church  
**Address:** 1400 US-1, Titusville, FL 32796  
**Designer:** REAGAN **Sales:** Marshall **Date:** 3-14-25  
**File Name:** Temple Baptist Church Ground Sign

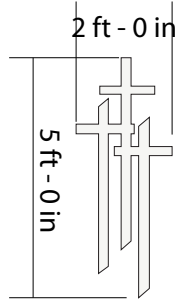


# GROUND SIGN

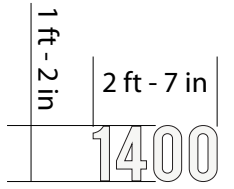
STONE REMOVED FOR VIEWING PURPOSES ONLY.



El Dorado stone  
Mountain Ledge Panels  
"Silverton"



QTY: 2



QTY: 2

SCALE = 3/16" = 1'

SCALE = 1/4" = 1'

580 GUS HIPP BLVD. ROCKLEDGE, FL 32955 TEL: 321-636-5116 FAX: 321-636-0402

### COLOR SCHEDULE

### SIGNATURE FOR APPROVAL:

### DATE:



**Customer:** Temple Baptist Church  
**Address:** 1400 US-1, Titusville, FL 32796  
**Designer:** REAGAN **Sales:** Marshall **Date:** 3-14-25  
**File Name:** Temple Baptist Church\_Ground Sign

PAINT BEN MOORE OC-65 CHANTILLYLACE  
 PAINT BM DEEP ROYAL 2061-10

**CUSTOMER NOTICE**  
 Kendal Signs will endeavor to match colors specified. We cannot guarantee exact matches due to varying compatibility of materials used. Final dimensions may vary from within this drawing. An exact scaled drawing will be provided upon your request.

REVISED:	DATE:
3-27-25	4-14-25
4-25-25	5-21-25
5-27-25	8-27-25
8-27-25	



# Temple Baptist Church

1400 N. Washington Avenue • Titusville, FL 32796 • Phone: (321) 269-1133 • Fax: (321) 268-0101 • [www.templebc.net](http://www.templebc.net)

October 9, 2025

To: Variance Committee of Titusville, FL.

Temple Baptist Church provides community services to over 500 people on a weekly basis for those live in Titusville and the surrounding towns.

The city of Titusville is doing a wonderful job in beautifying our city with signage as well as new business. Just recently built close to our church on the corner of U.S. 1 and Truman Scarborough Way is the modern looking Palm Point Behavioral Health facility. Just across U.S. 1 from our church is the soon to open Pier 13 Coffee Shop and Coffee Roaster.

The Annual Average Daily Traffic (AADT) reports approximately 22,500 cars driving pass our church each day! Temple Baptist Church wants a new sign that not only informs but is esthetically welcoming to travelers entering or leaving north Titusville. A sign that makes a positive statement for our church and for the city of Titusville.

Temple Baptist Church feels we need a larger sign due to several hardships. The offset is approximately 96 feet off Highway U.S. 1. The speed limit is 55 mph given limited reading time.

Sincerely,



Sr. Pastor Tom Porter

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## Sec. 32-8. Sign display provisions.

- (a) *Public rights-of-way.* No signs such as banner signs or similar type signs will be allowed to be placed over the street rights-of-way or suspended across any public property, except by public or semi-public bodies as may be approved by the City Manager and/or his designee as per Section 32-21, and with such conditions as the City Manager and/or his designee may impose. Banner signs over state and/or federal routes shall also comply with requirements of the Florida Department of Transportation and be no less than eighteen (18) feet above the road surface.
- (b) *Banner signs.* Each banner sign approved as provided for above or on private property shall be permitted for a maximum of thirty (30) days per calendar year, per business, per site. The maximum size of any single banner sign shall not exceed two hundred (200) square feet, nor shall any lot, site, premises or business exceed four hundred (400) square feet of total area of banner signs.
- (c) *Beacon lights.* No spot, beacon, flashing or flood light shall be permitted in any area within the City, except where such light is non-revolving and in a fixed position, and when said light shines only on the owner's premises or signs and away from any street or roadway or residential area. This shall not include beacon lights such as those required by Federal Aviation Administration regulations.
- (d) *Billboards.* See Section 32-26 of this chapter; Bench signs, bus benches, bus shelters, and billboards.
- (e) *Pennants.* "Pennants" as defined in Section 32-2 of this chapter shall be allowed in RC zoned districts and in conjunction with permitted outside sales and display areas in CC zoned districts provided that the total lineal feet of said pennants does not exceed the street frontage of the lot upon which they are displayed and the pennant does not exceed eighteen (18) inches in length.
- (f) *Computation of area.*
  - (1) *Wall signs.*
    - a. Wall signs consisting of individual letters, emblems, etc., whether painted on or erected flush against the exterior wall of a building, shall be computed by including the entire area within a single, continuous perimeter of not more than eight (8) straight lines enclosing the extreme limits of the writing, representation, emblem or other display used to differentiate the sign from the backdrop or structure against which it is placed.
    - b. Wall signs utilizing a removable surface or a holding cabinet shall be computed the same as ground signs.
    - c. Gas station and convenience store canopy signs.
      - 1. For the purpose of these regulations, canopy signs for gas station and convenience stores, over their gasoline pump islands only, shall be considered a wall sign.
      - 2. The facade/face of the canopy shall not be included in the area for calculating the maximum area of a wall sign.
      - 3. Signage size/area on a canopy shall be based upon the facade/building face as noted in Section 32-10(a) of this chapter. No more than fifty (50) percent of permitted wall sign area shall be allowed on a canopy.
      - 4. A second canopy sign shall only be permitted per the criteria noted in Section 32-10(a)(2) of this chapter.
  - (2) *Ground signs.*

- a. The copy area of a ground sign shall be computed by including the entire area of the sign surface, including the removable surface, advertising surface area and any framing, trim or molding, but not including the holding cabinet or support structure.

(3) *Monument and mural signs.*

- a. Mural signs, as defined in Section 32-2 of this chapter, may encompass the entire building face to which it is being applied onto. Request for mural signs on more than one (1) building face shall be subject to additional review up to and including City Council approval.
- b. Monument signs shall be computed as follows:
  - 1. The copy area of a monument sign shall be calculated by using the entire surface area of the monument sign structures minus a[n] eighteen-inch border along the top and side and minus a twenty-four-inch border along the bottom.

(4) *Changeable copy signs.*

- a. No more than fifty (50) percent of the sign surface area of any permanent sign shall be a changeable copy sign. The primary wall and ground or monument signs for theaters, churches and community based non-profit organizations shall be exempt from this changeable copy area limitation. Additional/secondary wall and ground or monument signs for theaters, churches and community based non-profit organizations shall not be exempt from the changeable copy area limitations.

(g) *Placement of ground or monument signs.*

- (1) No ground and/or monument sign shall be placed within the safe sign triangle area as defined in the Transportation Technical Manual, Street Intersections.
- (2) See Section 32-9 of this chapter for additional placement restrictions for monument signs.

(h) *Additional signage regulations for individual zoning districts and land use designations.*

- (1) *Planned Industrial District (PID).*
  - a. Within the PID zoning district, signage issues concerning entrance sign, ground sign, wall sign and other signs (i.e. real estate signs, building safety, address occupant identification and traffic signs) shall be regulated by the PID zoning signage criteria as noted in Section 32-45 of this chapter.
  - b. All other signage issues not addressed in Section 32-9 of this chapter shall be governed by the signage regulation as noted in Article I of this chapter.

(Ord. No. 35-2018, § 6, 10-9-18)

**Sec. 32-9. Ground sign regulations.**

- (a) Surface area. The total aggregate area of all ground or monument signs (including directory of occupant signs), for a development shall not exceed thirty-two (32) square feet per first acre, or fraction thereof. Sites exceeding one (1) acre shall be permitted additional signage surface area calculated at a rate of thirty-two (32) square feet per acre to a maximum of one hundred fifty (150) square feet per sign and four hundred fifty (450) square feet per development; or
- (b) The maximum area of ground or monument signs (including directory of occupant signs) for a development shall be based upon street frontage on a ROW as listed below:

25 feet—100 feet	32 square feet
101 feet—300 feet	64 square feet

301 feet—500 feet	96 square feet
501 feet and over	150 square feet

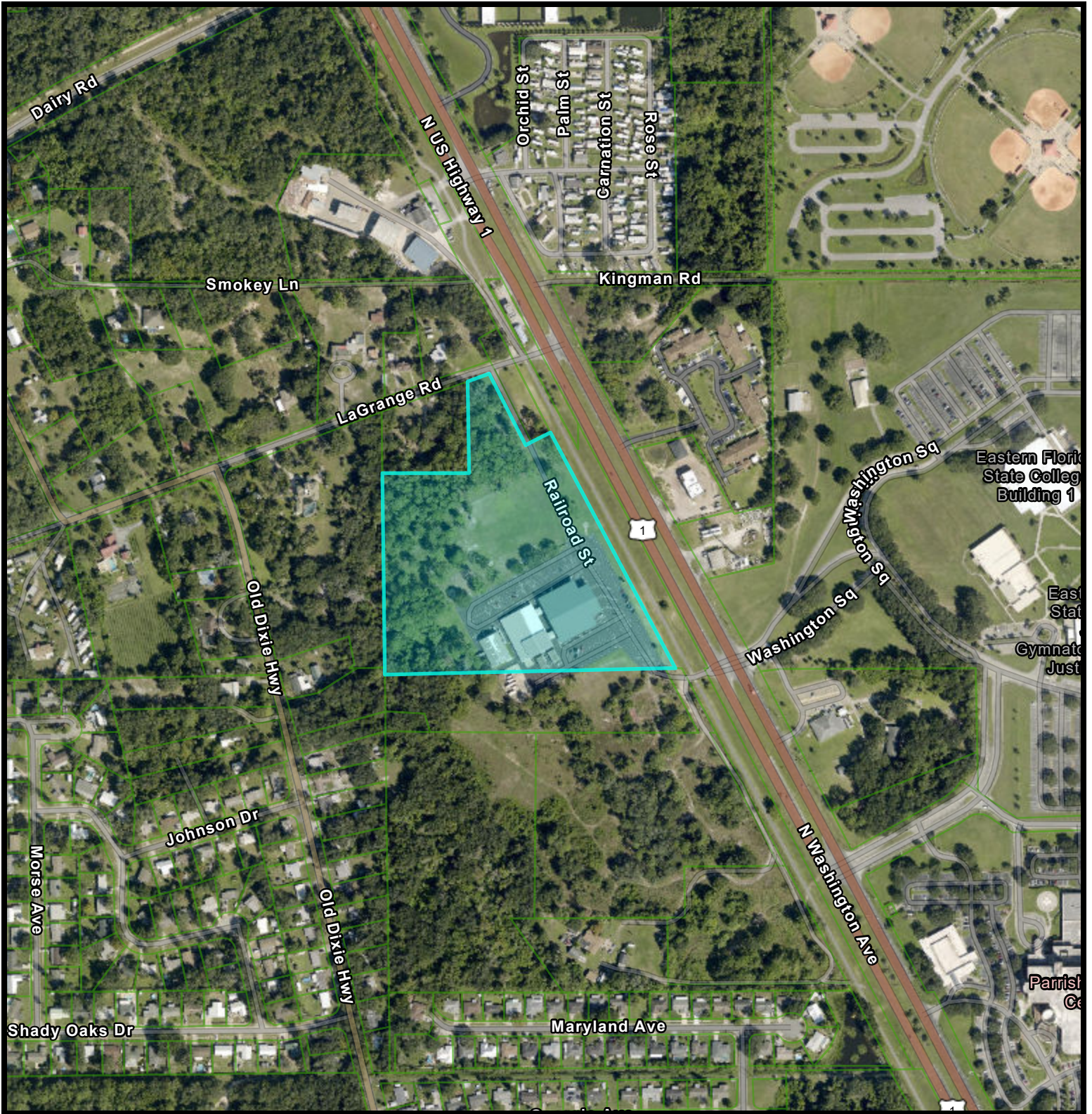
- (c) When determining the size/surface area of ground or monument sign either the requirements of Section 32-9(a) or 32-9(b) of this chapter shall be used. In no case shall a combination or mixing of these two (2) criteria be allowed. Any change of signage shall follow the same criteria. If the sign area criteria are changed, then all other signage on the site shall be required to be changes to the same criteria.
- (d) Monument signs may be granted an additional surface area credit of twenty-five (25) percent subject to all of the following criteria being met:
- (1) A monument sign shall not exceed a height of ten (10) feet.
  - (2) Required to be a true monument sign with entire base upon the ground, not a pole with a skirt around it to make the sign appear to be a monument sign.
  - (3) The maximum size/surface area of a monument sign, even with twenty-five (25) percent surface area credit, shall not exceed one hundred fifty (150) square feet.
  - (4) In order to insure that monument signs are installed in a safe manner in regard to vehicular and pedestrian safety, a safe sight triangle area of ten (10) feet by fifty (50) feet (ten (10) feet; along driveway by fifty (50) feet along the ROW) shall be required from all drive ways or access points. This ten (10) feet by fifty (50) feet placement criteria may be reduced by the Administrator on lots with access from rights-of-way with a one-way traffic flow only when it can be unquestionably demonstrated by the applicant that such placement will pose no line of sight obstruction and unquestionably demonstrated by the applicant that such placement will create no traffic/pedestrian safety problems. Such administrative action shall only be when a sign is placed in a manner that is not in conflict with the one-way traffic flow and line-of-sight. The Administrator is in no way required and/or obligated to grant such reduction.
  - (5) The sight distance criteria as noted in the Transportation Technical Manual shall be required to be met.
- (e) Number of signs. Except as authorized by this section, no development may have more than one (1) ground sign.
- (1) Corner lots with a roadway classification of collector or higher (a lot bounded on more than one (1) side by paved street/ROW) may have signage on each street frontage according to paragraph (a) or (b) above. Corner lots within the Central Business District zoning designation shall be exempt to the roadway classification restriction.
  - (2) If a development is located on a lot that is bordered by two (2) public streets that do not intersect at the lot's boundaries (double front lot), with a roadway classification of collector or higher, then the development may have one (1) ground sign on each side of the development bordered by such streets according to paragraph (a) or (b) above. Double front lots within the Central Business District zoning designation shall be exempt to the roadway classification restriction.
- (f) Location of ground signs.
- (1) Ground signs shall be set back a minimum of ten (10) feet from all property lines in a landscaped area at least equal in square footage of said sign. Setback shall be measured from the leading edge of the sign.
  - (2) Sites within the Downtown Mixed-Use land use designation as noted on the City's Future Land Use Map shall have no setback criteria from a property line subject to line-of-site (safe sight triangle/visibility criteria) being met and subject to no portion of the sign intruding into the ROW/past the property line.

- (g) Height of ground signs. All ground sign[s] shall be measured from existing grade.
- (1) No ground sign shall exceed thirty-five (35) feet in height for properties fronting arterial roadways.
  - (2) No ground sign shall exceed fifteen (15) feet in height for properties fronting all other road classifications.
  - (3) Per the requirements of Section 32-44(2) of this chapter, the maximum height of ground signs in the Downtown Mixed-Use Land Use Designation shall not exceed fifteen (15) feet.
- (h) Interstate access zones: Interstate access zones are designated where a state highway permits direct access to I-95. The Interstate access zone shall extend one-quarter (¼) mile (one thousand three hundred twenty (1,320) feet) measured lineally from the intersection of the state highway and the centerline of the I-95 right-of-way. Commercial property with a minimum of fifty (50) feet of frontage on an existing improved (i.e. paved street) public/private ROW and located within the interstate access zone shall be allowed the following signage:
- (1) Except as noted specifically in this subsection all other signage requirements of this chapter shall be required to be met.
  - (2) One (1) high rise ground sign may be permitted on a lot in the interstate access zone as follows:
    - a. Maximum height.

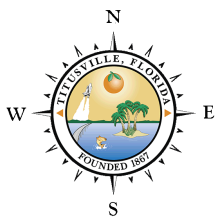
State Highway No.	(above existing grade)
SR 406	75 feet
SR 50	75 feet

- b. Surface area. The size of a high rise sign for a development shall not exceed sixty-four (64) square feet per first acre, or fraction thereof. Sites exceeding one (1) acre shall be permitted additional signage surface area calculated at a rate of sixty-four (64) square feet per acre to a maximum of two hundred fifty (250) square [feet]; or
- c. A sign surface area of two (2) square feet for each linear foot of building frontage facing the front lot line/road-right-of-way line shall be allowed (front lot line as noted in the definition of setback [front setback] in Section 27-11 of these [Land Development] Regulations shall be used). Maximum allowable area per sign shall not exceed of two hundred fifty (250) square feet.
  1. Only that portion of the building under air facing the front lot line/road-right-of-way line shall be used. All other building frontage/elevations shall not be used to calculate sign area. Building embellishments, appendages, screening walls, etc., shall not be used to calculate sign area.
  2. Only that portion of the building frontage running nearest to parallel to the front lot line/road-right-of-way line shall be used. In no instance shall more than one (1) building frontage/elevation be used to calculate sign area.
  3. In the event the front lot line/road-right-of-way line distance is less than the building frontage the length of the front lot line/road-right-of-way line shall be used.
  4. High rise sign shall be setback a minimum of fifty (50) feet from all property lines. This setback shall be required to be increased to one hundred (100) feet when abutting residential zoning and/or use.
  5. Application for high rise signs shall include calculations, by a registered engineer, noting that the fall radius (i.e. break point) will allow the entire sign to collapses entirely upon the site it is erected upon.

- 
6. Permit applications submitted pursuant to this subsection shall include a site plan with elevations.
  7. In no instance shall a billboard be permitted as a high rise sign.
  8. Variance to the maximum permitted height or size of a high rise sign shall not be permitted.
- d. When determining the size/surface area of high rise sign either the requirements as noted above in subsection (b) or (c) shall be used. In no case shall a combination or mixing of these two (2) criteria be allowed. Any change of signage shall follow the same criteria. If the sign area criteria are changed, then all other signage on the site shall be required to be changed to the same criteria.
  - e. The aggregate area of all ground/pole signs on a site in the interstate access zone (ground sign under thirty-five (35) feet in height and high rise sign) shall not exceed four hundred fifty (450) square feet.

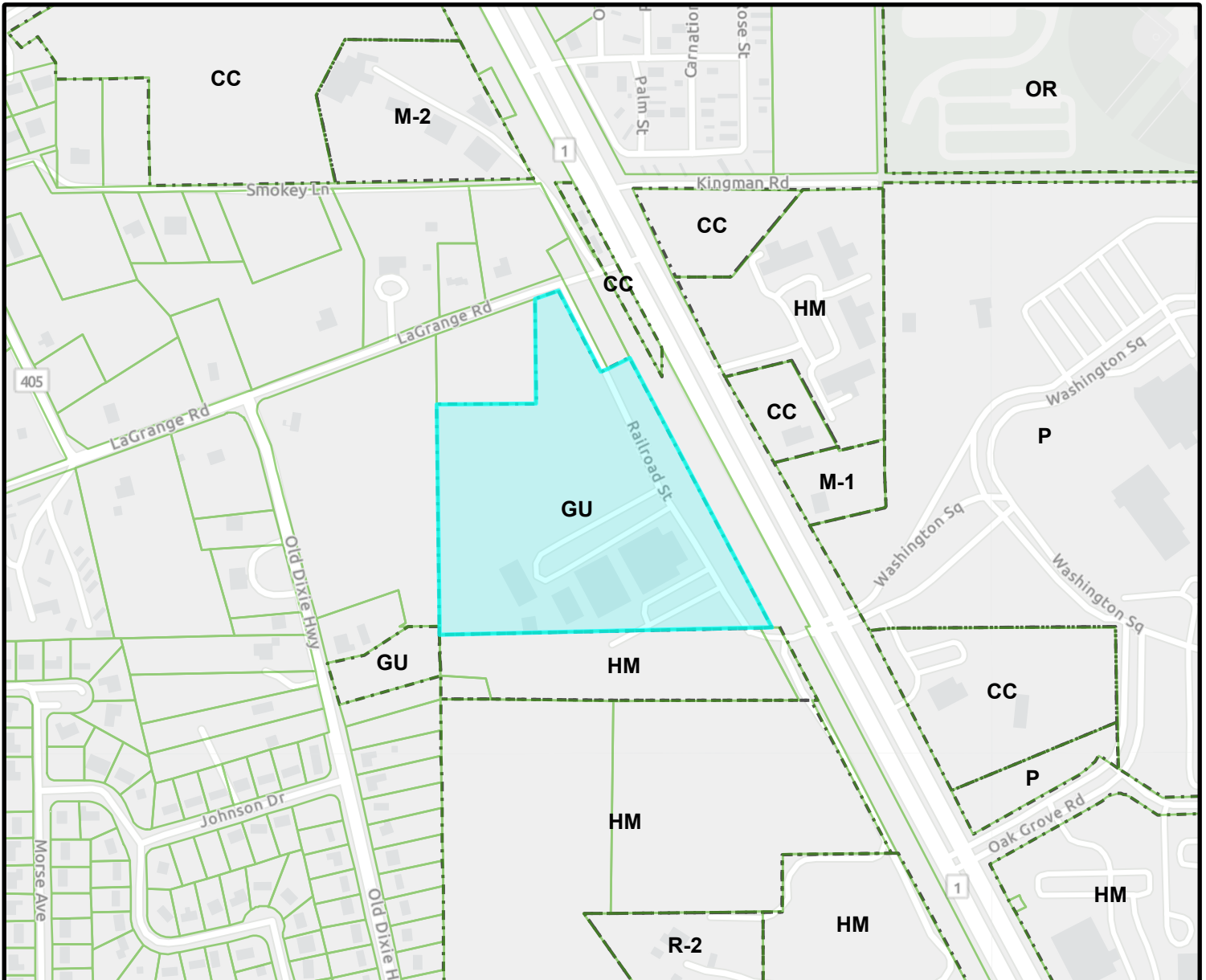


# City of Titusville - General Use Map



Titusville Parcels





# ZONING MAP

## RESIDENTIAL DISTRICTS

- RE** RESIDENTIAL ESTATES
- RR** RURAL RESIDENTIAL
- R-1A** SINGLE FAMILY, LOW DENSITY
- R-1B** SINGLE FAMILY, MEDIUM DENSITY
- R-1C** SINGLE FAMILY, HIGH DENSITY
- R-2** MULTIFAMILY, MEDIUM DENSITY
- R-3** MULTIFAMILY, HIGH DENSITY
- RMH-1** RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
- RMH-2** RESIDENTIAL MANUFACTURED HOUSING PARK

## COMMERCIAL DISTRICTS

- HM** HOSPITAL MEDICAL
- T** TOURIST
- NC** NEIGHBORHOOD COMMERCIAL
- CC** COMMUNITY COMMERCIAL
- RC** REGIONAL COMMERCIAL
- OP** OFFICE PROFESSIONAL

## SPECIAL DISTRICTS

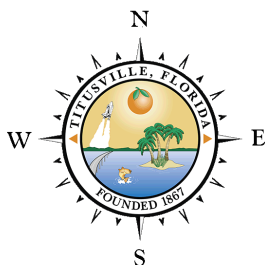
- GU** GENERAL USE
- OR** OPEN SPACE AND RECREATION
- UMU** URBAN MIXED USE
- SMU** SHORELINE MIXED USE
- RHP** RESIDENTIAL HISTORIC PRESERVATION
- RMU** REGIONAL MIXED USE
- PD** PLANNED DEVELOPMENT
- P** PUBLIC
- UV** URBAN VILLAGE
- DMU** DOWNTOWN MIXED USE
- IRCN-R** INDIAN RIVER CITY NEIGHBORHOOD RESIDENTIAL
- IRCN-C** INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL

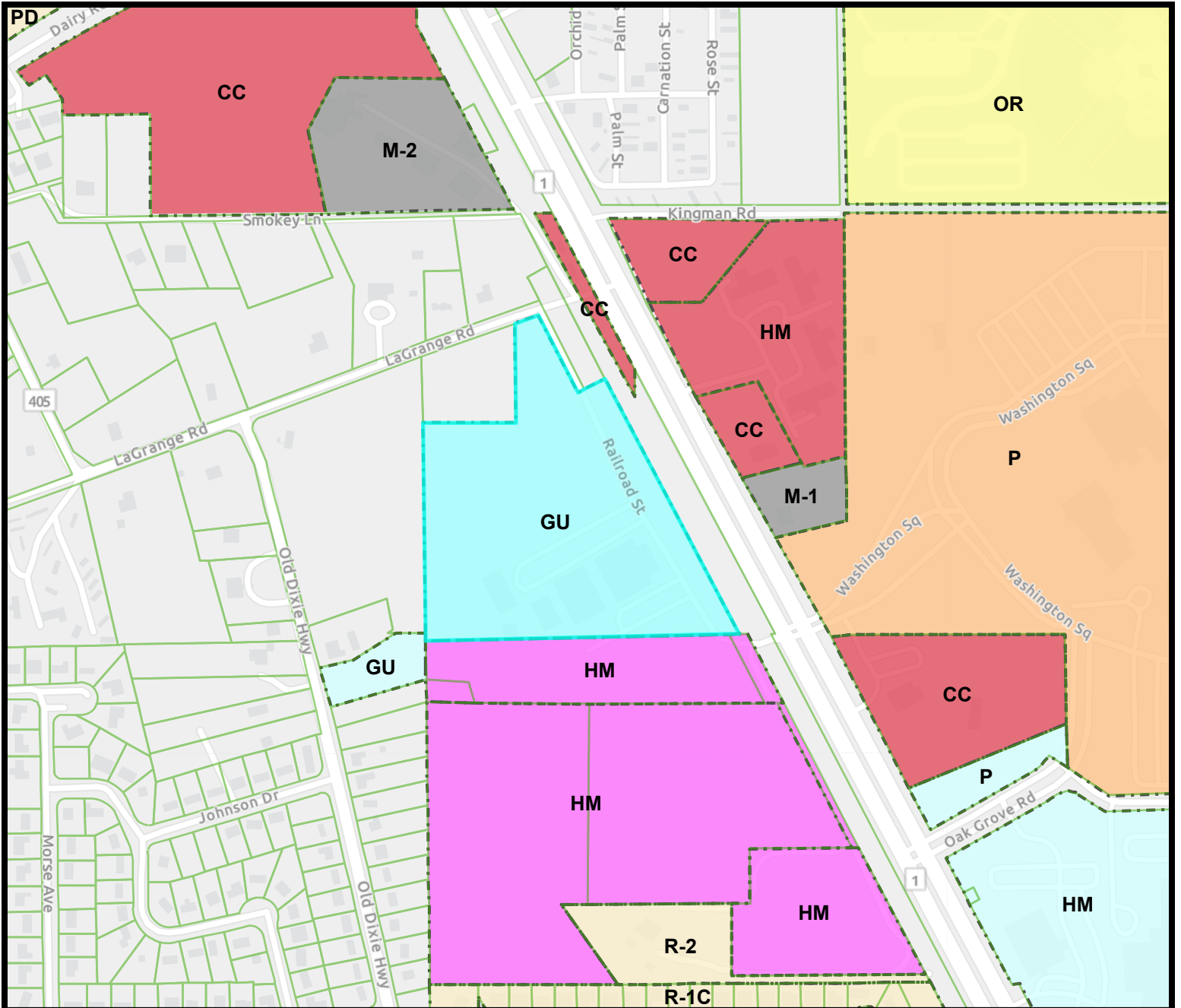
## INDUSTRIAL DISTRICTS

- M-1** LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2** HEAVY INDUSTRIAL
- M-3** HIGHWAY INDUSTRIAL INFILL
- PID** PLANNED INDUSTRIAL DEVELOPMENT

## OVERLAY DISTRICTS

- TSA** TITUSVILLE SHORELINE AREA
- AIA** AIRPORT IMPACT AREA
- WCA** WETLAND AND CONSERVATION AREA
- ACC** AREA OF CRITICAL CONCERN
- HPA** HISTORIC PRESERVATION AREA





## FUTURE LAND USE MAP

<b>CHI</b> COMMERCIAL HIGH INTENSITY	<b>ED</b> EDUCATIONAL	<b>PIP</b> PLANNED INDUSTRIAL PARK	<b>RES-2</b> RESIDENTIAL-2
<b>CLI</b> COMMERCIAL LOW INTENSITY	<b>IND</b> INDUSTRIAL	<b>PSP</b> PUBLIC/ SEMI-PUBLIC	<b>RMU</b> REGIONAL MIXED USE
<b>CONS</b> CONSERVATION	<b>HDR</b> HIGH-DENSITY RESIDENTIAL	<b>PUD</b> PLANNED UNIT DEVELOPMENT	<b>SMU</b> SHORELINE MIXED-USE
<b>DMU</b> DOWNTOWN MIXED-USE	<b>MDR</b> MEDIUM-DENSITY RESIDENTIAL	<b>REC</b> RECREATIONAL	<b>UMU</b> URBAN MIXED-USE
<b>LDR</b> LOW-DENSITY RESIDENTIAL	<b>RES-1</b> RESIDENTIAL-1	<b>US1</b> US-1 CORRIDOR	



**City of Titusville**  
"Gateway to Nature and Space"

REPORT

**To:** Members of the Board of Adjustment and Appeals  
**From:** Bradley Parrish, Community Development Director  
**Subject:** **Variance (VAR) No. 4-2026, 2035 Cheney Hwy**  
**Department/Office:** Planning

**Recommended Action:**

Consider the requested variance to Chapter 32, Section 32-9. Ground sign regulations, subsection 32-9(e) to allow a development to have more than one (1) ground sign and Chapter 32, Section 32-10, Wall sign regulations, subsection 32-10(a)(2) to allow additional wall signs for a building that has only one (1) street frontage (on an existing paved ROW), for a property located at 2035 Cheney Hwy, Titusville, FL.

**Summary Explanation & Background:**

The applicant is requesting a variance to the Land Development Regulations (LDR), Chapter 32, Section 32-9. Ground sign regulations, subsection 32-9(e) to allow a development to have more than one (1) ground sign and Chapter 32, Section 32-10, Wall sign regulations, subsection 32-10(a)(2) to allow additional wall signs for a building that has only one (1) street frontage (on an existing paved ROW), for a property located in the Community Commercial (CC) zoning district, at 2035 Cheney Hwy, Titusville, FL 32780, as submitted by Jennifer Ronneburger, authorized applicant for Rock Titusville LLC, Owner.

**Alternatives:**

**1. Approve the Variance**

Motion to approve VAR #4-2026 to allow one additional ground sign and to allow an additional two wall signs, for a property located at 2035 Cheney Hwy, Titusville, FL.

**2. Deny the Variance**

Motion to deny VAR #4-2026, to allow one additional ground sign and to allow an additional two wall signs, for a property located at 2035 Cheney Hwy, Titusville, FL. (State criteria for denial)

**3. Other**

**Item Budgeted:**

N/A

**Source/Use of Funds/Budget Book Page:**

**Strategic Plan:**

**Strategic Plan Impact:**

**ATTACHMENTS:**

1. VAR 4-2026 Staff Report
2. Applications Forms\_Signed
3. Sign Plan w Ground
4. Minor Division
5. Survey
6. Code
7. Maps



# City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 4-2026, 2035 Cheney Hwy**

3 **Meeting Date:** February 25, 2026

4 **Prepared By:** Tabitha Armstrong, AICP - Planner

5 **Applicant:** Jennifer Ronnerburger, authorized applicant for Rock Titusville LLC, Owner

6 **Background**

7 (a) Variance request: The applicant is requesting a variance to the Land Development  
8 Regulations (LDR), Chapter 32, Section 32-9. Ground sign regulations, subsection  
9 32-9(e) to allow a development to have more than one (1) ground sign and Chapter  
10 32, Section 32-10, Wall sign regulations, subsection 32-10(a)(2) to allow additional  
11 wall signs for a building that has only one (1) street frontage (on an existing paved  
12 ROW), for a property located in the Community Commercial (CC) zoning district,  
13 at 2035 Cheney Hwy, Titusville, FL 32780, as submitted by Jennifer Ronneburger,  
14 authorized applicant for Rock Titusville LLC, Owner.

15 (b) Location: 2035 Cheney Hwy, Titusville, FL. Tax No. 2214644. Parcel I.D. 22-35-  
16 28-00-250

17 (c) Land Description: PART OF NW 1/4 AS DESC IN ORB 1143 PG 885 EXC ORB  
18 4133 PG 3279, ORB 10459 PG 1624, ORB 10475 PG 663 & RD R/W PAR 250.1

19 (d) Future Land Use: Commercial High Intensity

20 (e) Zoning: Community Commercial (CC)

21 (f) Surrounding Zoning Districts.

22 1. North: Community Commercial (CC) across State Road 50

23 2. South: Open Space & Recreation (OR) & Multifamily High Density (R-3)

24 3. East: Community Commercial (CC) & Multifamily High Density (R-3)

25 4. West: Office Professional (OP) & Single-Family Medium Density (R-1B)

**Board of Adjustments and Appeals: Variance No. 4-2026**

1 (g) Lot Characteristics: The subject property is approximately 0.99 acres (43,124 sq.  
2 ft.) with 182 feet of frontage along State Road 50. The parcel is being created  
3 through an approved minor division of a larger 5.93-acre parent tract, which is  
4 currently undergoing the minor division review process and remains reflected as a  
5 single parcel in the BCPAO records until the division is finalized. These dimensions  
6 meet the minimum 10,000-square-foot lot area and 100-foot lot width requirements  
7 for parcels within the Community Commercial (CC) zoning district.

8 (h) Uses: Vacant Commercial Lot

9 **Powers of the BAA**

10 LDR Section 34-226 states that the Board shall grant a variance request when in the  
11 opinion of the Board of Adjustments and Appeals, owing to special conditions, the  
12 literal enforcement of such ordinance or regulations would do manifest injustice to, or  
13 impose an unnecessary hardship upon the applicant. In order to authorize any variance  
14 to the provisions of such ordinance, the Board must consider the following criteria:

15 (a) Special conditions and circumstances exist which are peculiar to the land,  
16 structure, or building involved and which are not applicable to other lands,  
17 structures or building in the same zoning.

18 (b) Special conditions and circumstances do not result from the actions of the  
19 applicant.

20 (c) Granting the variance requested will not confer upon the applicant any special  
21 privilege that is denied by the ordinance to other lands, buildings or structures in  
22 the same zoning district.

23 (d) The literal interpretation of the provisions of the ordinance would deprive the  
24 applicant of rights commonly enjoyed by other properties in the same zoning  
25 district under the terms of the ordinance.

26 (e) The variance granted is the minimum variance that will make possible the  
27 reasonable use of the land, building or structure.

28 (f) The granting of the variance will preserve the spirit of the ordinance and remain  
29 in harmony with its general purpose and intent.

30 (g) In granting the variance, the public safety and welfare must be assured.

31 (h) In no case shall the granting of a variance result in a change of use, which would  
32 not be permitted in that zone.

33 **Analysis**

34 The applicant is requesting a variance from Chapter 32, Section 32-9(e) of the Land  
35 Development Regulations (LDR) to allow more than one (1) ground sign for a

**Board of Adjustments and Appeals: Variance No. 4-2026**

1 development, and from Chapter 32, Section 32-10(a)(2) to allow additional wall signs  
2 for a building having only one street frontage. The subject area is located within the  
3 Community Commercial (CC) zoning district and consists of approximately 0.99  
4 acres. The parcel is currently undergoing the minor division review process and has  
5 not yet been finalized. The subject area is part of the larger 5.93-acre tract that is  
6 being divided into five separate parcels under the approved Titusville Commons site  
7 plan, which will continue to function as a unified development.

8 Section 32-9(e) of the LDR provides that, except as otherwise authorized, no  
9 development may have more than one (1) ground sign. The subject property does not  
10 meet the exception for multiple ground signs, as the development does not contain  
11 more than one street frontage. As part of the Titusville Commons development, the  
12 permitted ground signage is intended to function as a multi-tenant sign serving the  
13 overall development rather than allowing individual ground signs for each parcel or  
14 business. The applicant proposes the installation of an additional ground sign with an  
15 approximate height of thirteen feet seven and three-eighths inches (13'-7<sup>3</sup>/<sub>8</sub>"") and a  
16 width of two feet eight and three-eighths inches (2'-8<sup>3</sup>/<sub>8</sub>"").

17 The use of a single multi-tenant ground sign is intended to reduce sign clutter and  
18 maintain a coordinated signage plan for the development. Allowing individual ground  
19 signs for each parcel or tenant would increase visual impacts and would be  
20 inconsistent with Comprehensive Plan Future Land Use Element Policy 1.9.5, which  
21 requires that commercial land use designations and accompanying proposals consider  
22 compatibility with surrounding land uses, including the minimization of visual  
23 impacts.

24 The applicant is also requesting approval to install two additional wall signs. Section  
25 32-10(a)(2) provides that buildings having more than one street frontage may be  
26 permitted one additional wall sign located on the secondary frontage; however,  
27 regardless of the number of street frontages, no more than two wall signs shall be  
28 permitted. The subject building has only one street frontage and has already received  
29 permit approval for one wall sign, identified as B01 on the submitted concept plan,  
30 measuring approximately 36.9 square feet. The applicant proposes two additional  
31 wall signs, identified as B02 and B03 on the submitted concept plan, each measuring  
32 approximately 36.9 square feet.

33 The request does not demonstrate the presence of special conditions or circumstances  
34 unique to the property that would prevent compliance with the sign regulations  
35 applicable to the development. The parcel's configuration and location within the  
36 Titusville Commons development does not create a hardship associated with  
37 compliance with the limitation of one ground sign per development or the permitted  
38 number of wall signs for buildings with a single street frontage.

39 **Recommendation**

40 Staff recommend **denial** of the requested variances to allow one additional ground sign  
41 and to allow an additional two wall signs. There are no special conditions or

**Board of Adjustments and Appeals: Variance No. 4-2026**

1        circumstances that exist which are peculiar to the land, structure, or building involved  
2        and which are not applicable to other lands, structures, or buildings within the same  
3        zoning district. A literal interpretation of the provisions of the Land Development  
4        Regulations would not deprive the applicant of rights commonly enjoyed by other  
5        properties within the same zoning classification.



To be Completed by Staff

Application No. \_\_\_\_\_

Date Received: \_\_\_\_\_

Received by: \_\_\_\_\_

### APPLICATION FOR VARIANCE

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.

<b>1. Project Location</b>	Property Address/Location Description 2035 Cheney Hwy, Titusville, FL 32796		
<b>2. Applicant/ Owner</b>	Name of Applicant/Contact Jennifer Ronneburger		Name of Owner Rock Titusville LLC
	Street Address 9061 Woodlark Terrace		Street Address 145 Lincoln Ave, Suite B
	City	State	Zip
	Boynton Beach, FL 33472		Winter Park, FL 32789
	Telephone # 631-882-4718 Fax #		Telephone # Fax #
E-Mail Address gopermit@gmail.com		E-Mail Address	
<b>3. Applicant Status</b>	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Other		
<b>4. Parcel ID</b>	22 3528-00-250	<b>Tax Acct.</b>	2214644
<b>5. Site Size</b>	Acres: 8.38	Square Feet: 365,032	
<b>6. Property Information</b>	Current Zoning Community Commercial (CC)		Current Use of Property Vacant Commercial Land
<b>7. Variance(s) Requested</b>	<i>Section Number</i>	<i>LDR Requirement</i>	<i>Variance Requested</i>
	1) 32-10	1) "Except as authorized by this section, each separately	1) Asking for two (2) additional signs.
	2)	2) licensed business shall be	2) One sign each on the east and west elevation respectively.
	1)	3) allowed one (1) wall sign."	3)
	4)	4)	4) Asking for one (1) ground sign as there is no planned multi-tenant
5)	5)	5) sign for the commercial center that we can participate in.	
<b>8. Narrative</b>	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application) Requesting a variance to allow two (2) new internally illuminated wall signs for a new Chase Bank at 2035 Cheney Hwy. One sign each on the east and west elevation respectively. The landlord does not plan to erect a multi-tenant ground sign, so we are requesting we be allowed to apply for 1one (1) illuminated ground sign for our standalone business.		

**All applications shall require Community Development staff review prior to submittal.**

- All applications shall be submitted to the Department electronically and officially logged in by 4:00 p.m. on deadline dates. Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information is submitted. Meeting dates for incomplete applications will not be set until all required information is submitted.
- Petitions requiring review from other boards or commissions prior to being forwarded to the Board of Adjustments and Appeals (BAA) are not guaranteed placement on the BAA schedule available on the City's website.

**ACKNOWLEDGEMENT**

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the City Council, Board of Adjustment & Appeals, and Planning & Zoning Commission on this topic to properly noticed public hearings or to written communication to the City Clerk's Office, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/

(Signature\*) 

(Date)1/23/2026

*\* By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.*

**FOR OFFICE USE ONLY**

Date Received: \_\_\_\_\_  
Accepted By: \_\_\_\_\_  
Hearing Date: \_\_\_\_\_  
Case Number: \_\_\_\_\_



## SUBMITTAL CHECKLIST

Please fill out the following and submit the documents to the Community Development Department electronically. Payment of fees does not ensure a favorable decision. Additional information may include documents initially waived at the pre-application meeting but subsequently determined necessary by staff.

1.	Complete Application and Fees
2.	Warranty Deed
3.	Notarized Owner Authorization Form (If applicable)
4.	Legal Description (from a certified survey)
5.	Certified Survey (sealed and containing permanent reference points as described by Chapter 177, Florida Statutes, with bearings, distances and closures) in electronic PDF format.
6.	Digital plot or site plan, drawn to scale, illustrating the variance requested.
7.	Names, addresses and address labels for all property owners within 100 feet of the subject property. <i>Note: This listing is available from either the Brevard County Property Appraiser's Office or the City of Titusville Planning Department. Current charge for this service is \$35.00.</i>
8.	<del>Pre-Application Meeting Held – Date: Staff in Attendance:</del>

Applicant Signature\*\*

Date

/s/

1/23/2026

**\*\*** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.

# Justification Letter

## **1. Why are you unable to comply with the requirements? What hardship or injustice are you claiming?**

The strict application of the current sign code creates a functional hardship regarding wayfinding and site navigation. Because the property is situated within a larger commercial center, the single allowable sign on the north (front) elevation is only visible to traffic directly parallel to the storefront. Drivers approaching from the east or west via the center's internal drive aisles—or those turning into the center from the main thoroughfare—have zero visual cues to identify the location of the tenant. This lack of visibility creates 'driver hesitation,' where patrons must slow down or make abrupt turns while searching for the destination, potentially impeding the flow of traffic within the shopping center. Wall signage facing east and west, and a ground sign visible from east and west traffic will fill the gaps of wayfinding that a north-facing sign would fall short of.

## **2. What is special about your property that would justify treating it differently than most other properties?**

The property's unique placement within the shopping center necessitates special consideration for signage. The building is sandwiched, unlike highly visible corner lots, meaning consumer access is limited to the east and west directions. This architectural orientation creates a "tunnel vision" effect, severely obscuring the existing north-facing sign until a driver is almost past the location.

Furthermore, the landlord confirmed that there is no plan for a multi-tenant sign for the overall commercial center. They also mentioned that if there was a planned multi-tenant sign, Chase Bank would not be eligible for a tenant panel as they would not qualify as an in-line business to use a tenant panel for signage. As a standalone business, Chase Bank should be treated as a single-tenant user, thus qualifying for one ground sign. This mid-block position and limited visibility distinguish the property from typical road-fronting sites that benefit from high visibility across multiple street frontages.

## **3. Is your variance request the minimum change from the requirements that you need to overcome your hardship?**

Yes, this request represents the minimum departure necessary to achieve basic wayfinding. We are not requesting an increase in the total allowable square footage of signage, nor are we requesting oversized or illuminated displays that exceed code intensity. We are simply requesting the distribution of signage across three elevations instead of one. We are also requesting a modest ground sign that creates enhanced visibility to faster flowing traffic that would not otherwise see building signage or a small tenant panel on a multi-tenant sign. By placing three (total) smaller, identifying wall signs at 36.9 square feet each, on the north, east, and west building elevations, we address the 360-degree nature of the shopping center's internal traffic without creating excessive visual clutter.

## **4. Explain why approval of your variance request would not likely result in harm to your neighbor's properties or to the general public.**

Granting this variance will enhance public safety and the aesthetics of the commercial corridor. By providing clear identification on the east and west elevations, we reduce 'circling' and distracted driving within the parking lot, creating a safer environment for pedestrians and other motorists. Furthermore, the proposed signage is designed to be architecturally compatible with the existing center. Because the side elevations do not face residential zones or sensitive neighbors, there is no risk of light pollution or diminished property values. In fact, clear wayfinding supports the overall economic health and organization of the shopping center as a whole.



Gateway to Nature & Space



# OWNER'S AUTHORIZATION FORM

This authorization form is for:

- Annexation (ANX)
- Comprehensive Plan Amendment (CPA)
- Conditional Use Permit (CUP)
- Development Agreement (DA)
- Easement Vacation (EAS)
- Master Plan (MP)
- Planned Development (PD)
- Rezoning (REZ)
- Right-of-Way Vacation (ROW)
- Small Scale Amendment (SSA)
- Variance (VAR)

Date: 1/23/2026

To: City of Titusville  
Attn: Planning Department  
555 S. Washington Avenue  
Titusville, FL 32796-3584

PROJECT DESCRIPTION: Requesting a variance to allow two (2) new internally illuminated wall signs for a new Chase Bank at 2035 Cheney Hwy. One sign each on the east and west elevation respectively.

PROJECT ADDRESS: 2035 Cheney Hwy, Titusville, FL 32796

PARCEL ID# OR TAX ACCT #: 22 3528-00-250

Please accept this documentation as authorization for Jennifer Ronneburger of GoPermit  
to apply for the above selected request. (Name of Applicant)

Rock Titusville, LLC

Property Owner Name (Please Print)

[Signature]  
Property Owner Signature

227 W. New England Ave., ste C.

Street Address

Winter Park, FL 32789

City, State, Zip code

407-478-8220  
Telephone Number

**Please Note:** If the property is owned by a corporation, trust, et cetra, documentation must be included with this authorization form to prove the person signing this document has the legal authority to do so. If this documentation is not submitted, the application will not be accepted.

### TO BE COMPLETED BY NOTARY

State of Florida  
County of ORANGE

Subscribed and sworn to before me by means of  physical presence or  online notarization, this 26<sup>th</sup> day of JANUARY, 2026, by Gregg Zuckerman who is personally known to me or produced \_\_\_\_\_ as identification.

[Signature]  
Notary Public Signature  
Michael Brantley

My Commission Expires: 2-14-2026  
Date



**MICHAEL BRANTLEY**  
Notary Public  
State of Florida  
Comm# HH228734  
Expires 2/14/2026



**EXECUTIVE SUMMARY**

- (1) PYLON
- (2) CHANNEL LETTERS
- (1) CHANNEL LETTERS

**AOR CSG** - BDG Architects, LLP

**Chase Designer** - Munira Lokhandwala

**Sign Co** - PSG - PSCO



Site #: CHS.NB.1441  
 Drawing #: A40103  
 Designer: MMS

REV #	DATE	NOTE
01	11.05.24	Updated Aerial View
02	11.19.24	Revised Site Plan

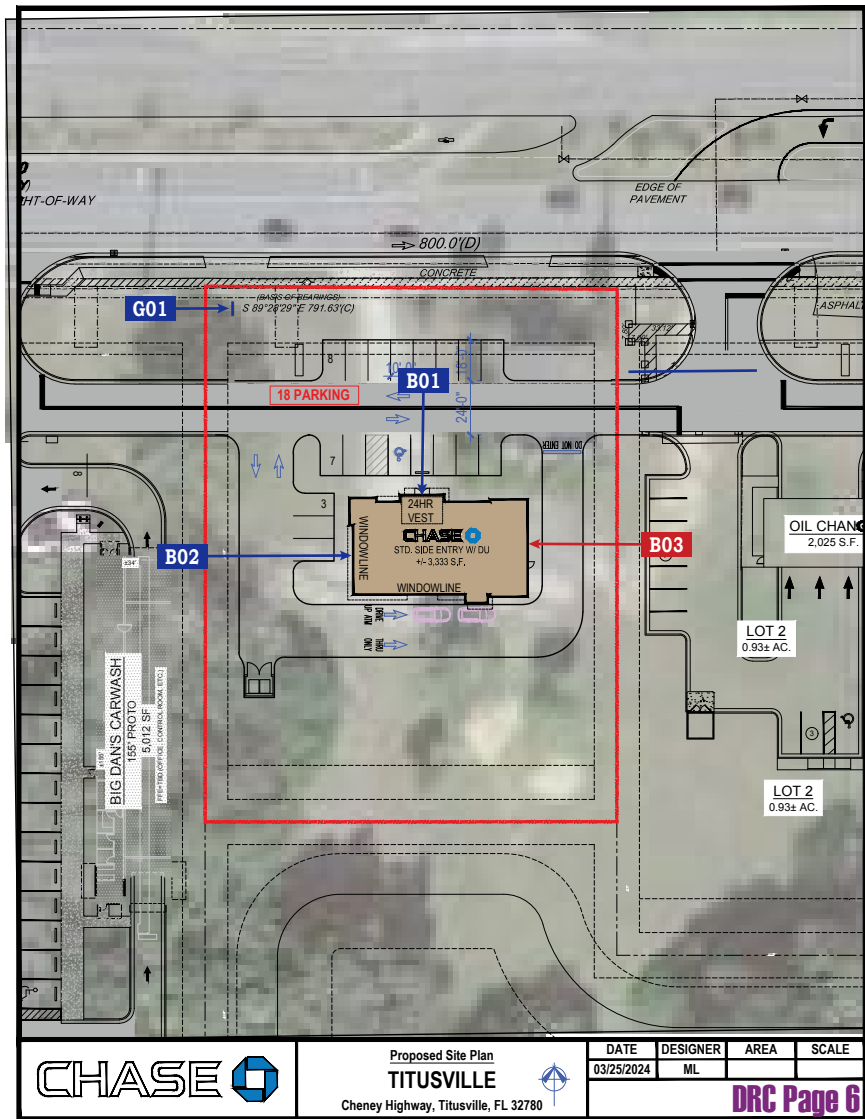
FP  
 FP

# Micro Aerial | Titusville, FL



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# Site Plan



### EXTERIOR SCOPE OF WORK

SIGN ID	ELEVATION	SIGN TYPE	DESCRIPTION	SQ FT	ADD'L APPRV
G01	North	P-32-RE	Double-Faced Illuminated Pylon	36.8	
B01	North	LIF-WBO-24-LED	White w/ Blue Octagon Illum Channel Letters	36.9	
B02	West	LIF-WBO-24-LED	White w/ Blue Octagon Illum Channel Letters	36.9	
B03	East	LIF-WBO-24-LED	White w/ Blue Octagon Illum Channel Letters	36.9	Yes

SQUARE FOOTAGE		SQUARE FOOTAGE	
PROPOSED SQ. FT.	110.6	A.A. PROPOSED SQ. FT.	36.9
ALLOWABLE SQ. FT.	200.0	ALLOWABLE SQ. FT.	N/A
DIFFERENCE	89.4	DIFFERENCE	N/A

# Elevations / Materials

B01 LIF-WB0-24-LED White w/ Blue Octagon Illum Channel Letters 36.9 sf

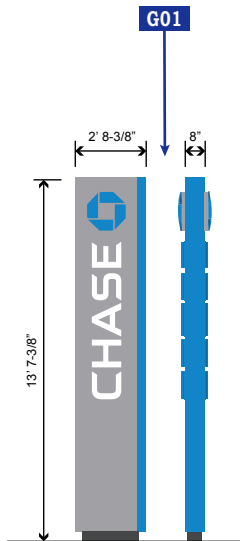


North Elevation (Front)

B02 LIF-WB0-24-LED White w/ Blue Octagon Illum Channel Letters 36.9 sf



West Elevation (Parking)

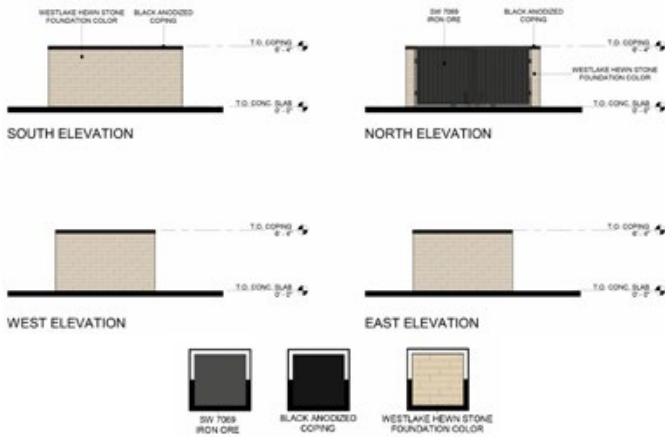


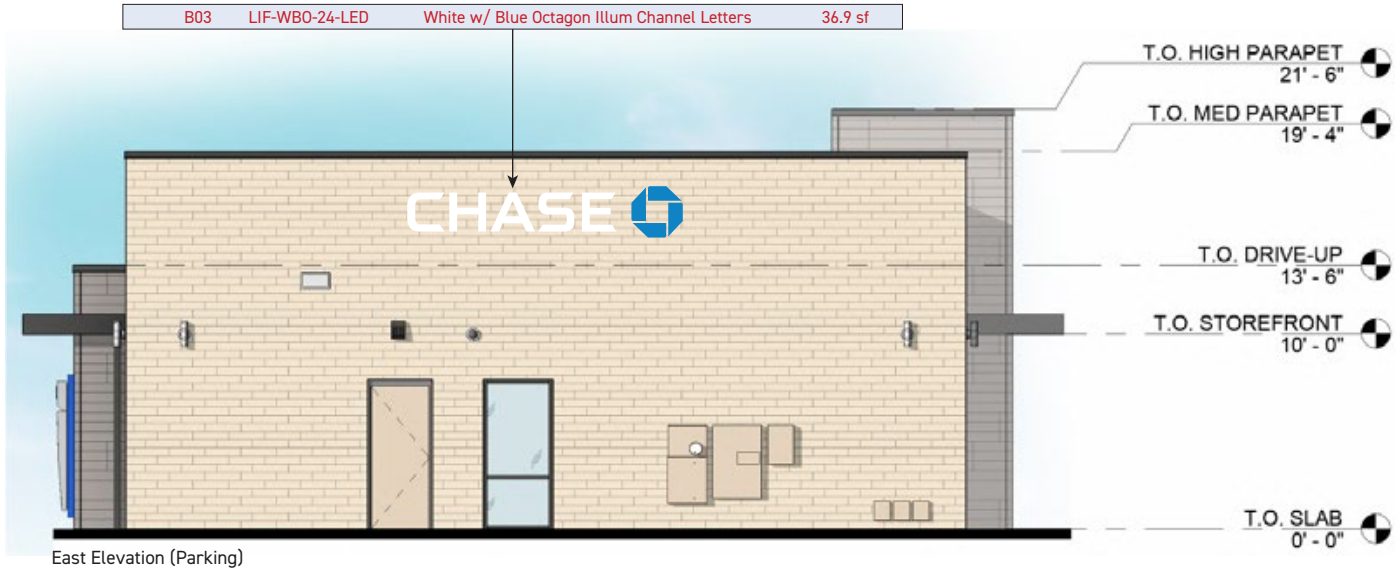
# Elevations / Materials



South Elevation (Drive-Up)

## Trash Enclosure





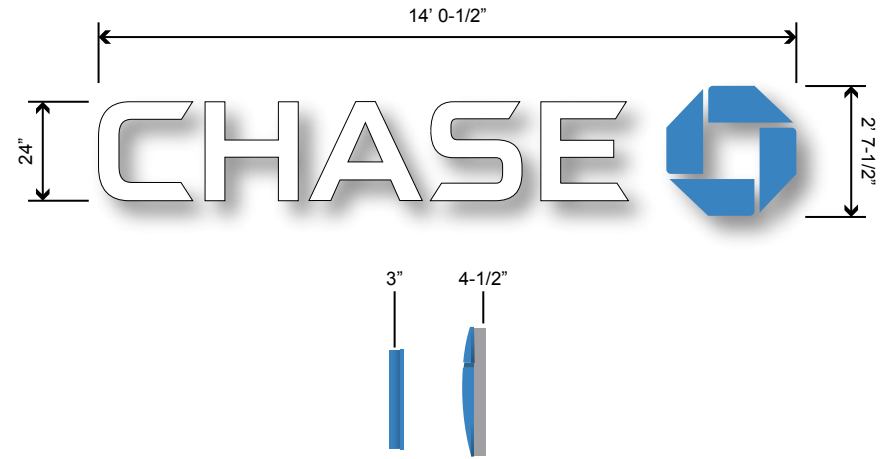
East Elevation (Parking)



# Exterior Signage

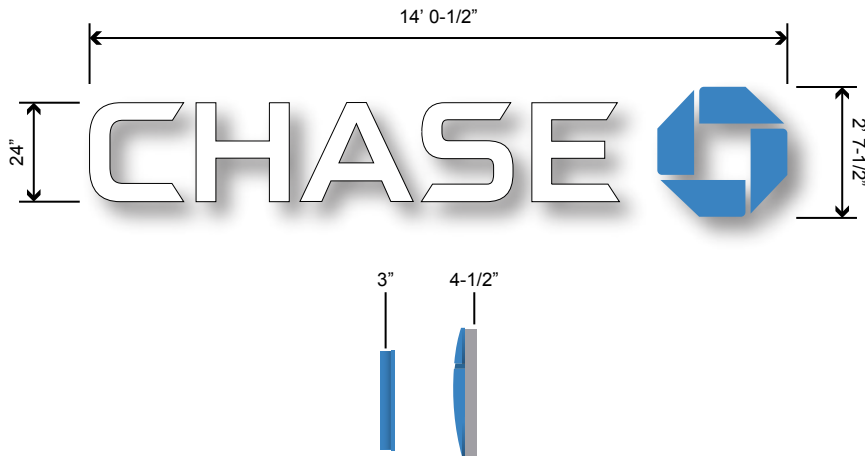


G01 P-32-RE	Double-Faced Illuminated Pylon	36.8 SF
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NOTE: Paint B01 Octagon Bridge SW 7018 "Dovetail."

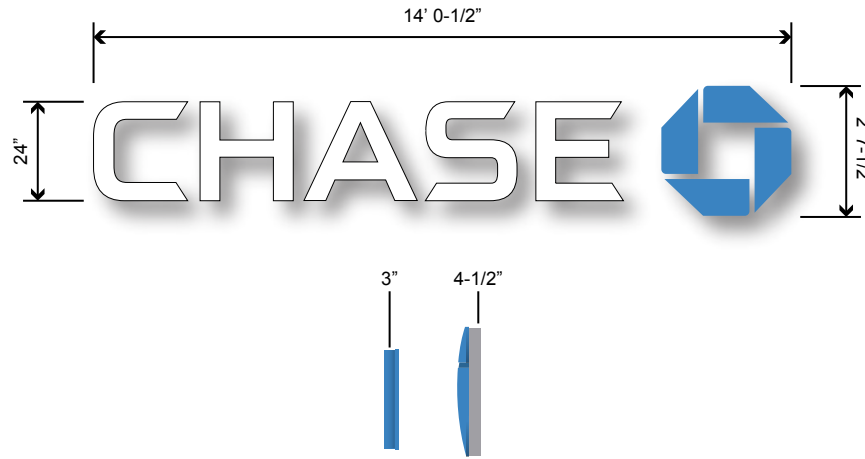
B01 LIF-WB0-24-LED	White w/ Blue Octagon Illum Channel Letters	36.9 SF
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NOTE: Paint B02 Octagon Bridge SW 7020 "Black Fox."

B02 LIF-WB0-24-LED	White w/ Blue Octagon Illum Channel Letters	36.9 SF
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# Exterior Signage



NOTE: Paint B03 Octagon Bridge SW 7036 "Accessible Beige."

B03	LIF-WB0-24-LED	White w/ Blue Octagon Illum Channel Letters	36.9 SF
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**ABBREVIATIONS / LEGEND**

± MORE OR LESS	CM... 4"x4" CONCRETE MONUMENT (AS NOTED)	⊕ GAS LINE MARKER	⊕ BENCHMARK
AC AIR CONDITIONING	IRC... IRON ROD & CAP (AS NOTED)	⊕ GAS METER	⊕ WETLAND FLAG
ALTA ACRES	IR... IRON ROD (NO ID)	⊕ GAS VALVE	⊕ BORING ID NUMBER
ADA AMERICAN DISABILITY ACT	NSD... NAIL & DISK (AS NOTED)	⊕ REUSE BACKFLOW PREVENTER	⊕ BORING ELEVATION
BFE BASE FLOOD ELEVATION	N&W... NAIL & WASHER (AS NOTED)	⊕ REUSE SERVICE STUB	⊕ EXISTING SOFT ELEVATION
BLDG BUILDING	IPC... IRON PIPE & CAP (AS NOTED)	⊕ REUSE WATER METER	⊕ EXISTING HARD ELEVATION
BTM BOTTOM	IP... IRON PIPE (NO ID)	⊕ REUSE WATER VALVE	
(C) CALCULATED	MP... METAL PIPE (AS NOTED)	⊕ GREASE TRAP MANHOLE	
CA CENTRAL ANGLE	PKD... PARKER-KALON MAGNETIC NAIL & DISK (AS NOTED)	⊕ CLEANOUT	
CH CHORD LENGTH	SPK... RAILROAD SPIKE (NO ID)	⊕ SANITARY SEWER MANHOLE	
CHB CHORD BEARING	NAIL... NAIL IN PAVEMENT (NO ID)	⊕ SANITARY SEWER VALVE	
CMP CORRUGATED METAL PIPE	X-CUT... SURVEYOR'S X-CUT	⊕ FIBER OPTIC CABLE MARKER	
CPP CORRUGATED PLASTIC PIPE		⊕ FIBER OPTIC PEDESTAL	
CONC CONCRETE		⊕ TELECOM BOX	
CR COUNTY ROAD		⊕ TELECOM MANHOLE	
(D) DESCRIPTION OR DEED		⊕ TELECOM LINE MARKER	
DIP DUCTILE IRON PIPE		⊕ TELECOM PEDESTAL	
FD FOUND		⊕ CABLE TV PEDESTAL	
EL ELEVATION		⊕ END-CAP	
EOP EDGE OF PAVEMENT		⊕ 11° BEND	
ERCP ELLIPTICAL REINFORCED CONCRETE PIPE		⊕ 22° BEND	
ESMT EASEMENT		⊕ 45° BEND	
FAC FLORIDA ADMINISTRATIVE CODE		⊕ 90° BEND	
FDEP FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION		⊕ TEE	
FNDR FLORIDA DEPARTMENT OF NATURAL RESOURCES		⊕ CROSS	
FOOT FLORIDA DEPARTMENT OF TRANSPORTATION		⊕ HOSE BIB	
FFE FINISH FLOOR ELEVATION		⊕ BLOW-OFF VALVE	
FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY		⊕ BACKFLOW PREVENTER	
FRM FLOOD INSURANCE RATE MAP		⊕ DOUBLE DETECTOR CHECK VALVE	
FL FLORIDA		⊕ FIRE DEPARTMENT CONNECTION	
FLBL FLORIDA POWER & LIGHT		⊕ FIRE HYDRANT	
GNSS GLOBAL NAVIGATION SATELLITE SYSTEM		⊕ POST INDICATOR VALVE	
HDPE HIGH DENSITY POLYETHYLENE PIPE		⊕ REDUCER	
ID IDENTIFICATION		⊕ WATER METER	
INV INVERT ELEVATION		⊕ WATER SERVICE STUB	
LB LICENSED BUSINESS		⊕ WATER VALVE	
LC LICENSED CORPORATION		⊕ WELL	
LF LINEAL FEET		⊕ AIR RELEASE VALVE	
LIC LIMITED LIABILITY COMPANY		⊕ UNKNOWN MANHOLE	
LS LICENSED SURVEYOR		⊕ UNKNOWN UTILITY PEDESTAL	
(M) FIELD MEASURED		⊕ UTILITY VAULT (AS NOTED)	
MB MAP BOOK			
MES MITERED-END SECTION			
MPH MILES PER HOUR			
NAD83 NORTH AMERICAN DATUM OF 1983			
NAVDS83 NORTH AMERICAN VERTICAL DATUM OF 1988			
NGVD29 NATIONAL GEODETIC VERTICAL DATUM OF 1929			
No. NUMBER			
NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS OFFICIAL RECORD BOOK			
ORB REFERS TO PLAT OF RECORD			
(P) POINT OF CURVE			
PC POINT OF COMPOUND CURVE			
PCP PERMANENT CONTROL POINT			
PG(S) PAGE(S)			
PCP POINT ON CURVE			
PRC POINT OF REVERSE CURVE			
PRM PERMANENT REFERENCE MONUMENT			
PSM PROFESSIONAL SURVEYOR AND MAPPER			
PT POINT OF TANGENCY			
PVC POLYVINYL CHLORIDE			
R RADIUS			
RCP REINFORCED CONCRETE PIPE			
RLS REGISTERED LAND SURVEYOR RIGHT-OF-WAY			
SF SQUARE FEET			
SURWMD ST. JOHNS RIVER WATER MANAGEMENT DISTRICT			
SR STATE ROAD			
STY STORY			
SP STATE PLANE			
TELECOM TELECOMMUNICATIONS			
TYP TYPICAL			
US UNITED STATES			
USACOE UNITED STATES ARMY CORP OF ENGINEERS			
VCP VITRIFIED CLAY PIPE			

**SURVEYOR'S DESCRIPTION:**

LANDS LYING IN THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 1, BLOCK E, HIGHLANDS UNIT I - REPLAT, AS RECORDED IN PLAT BOOK 20, PAGE 29, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF STATE ROAD No. 50 (A VARIABLE WIDTH RIGHT-OF-WAY), THENCE RUN S 89°28'29" E FOR A DISTANCE OF 210.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID HIGHLANDS UNIT I - REPLAT, SAID POINT ALSO BEING A POINT OF BEGINNING; THENCE N 02°41'09" E FOR A DISTANCE OF 3.00 FEET; THENCE S 89°28'29" E FOR A DISTANCE OF 791.63 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, S 00°12'46" W FOR A DISTANCE 453.06 FEET; THENCE N 89°26'53" W FOR A DISTANCE OF 811.26 FEET TO A POINT ON THE EASTERLY LINE OF SAID HIGHLANDS UNIT I - REPLAT; THENCE N 02°41'48" E ALONG THE EASTERLY LINE OF HIGHLAND UNIT I - REPLAT, FOR A DISTANCE OF 450.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS 8.332± ACRES MORE OR LESS.

**DESCRIPTION: PARCEL 1**

LANDS LYING IN THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 1, BLOCK E, HIGHLANDS UNIT I - REPLAT, AS RECORDED IN PLAT BOOK 20, PAGE 29, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF STATE ROAD No. 50 (A VARIABLE WIDTH RIGHT-OF-WAY), THENCE RUN S 89°28'29" E FOR A DISTANCE OF 210.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID HIGHLANDS UNIT I - REPLAT; THENCE N 02°41'09" E FOR A DISTANCE OF 3.00 FEET; THENCE S 89°28'29" E FOR A DISTANCE OF 653.46 FEET FOR A POINT OF BEGINNING; THENCE S 89°28'29" E FOR A DISTANCE OF 138.17 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, S 00°12'46" W FOR A DISTANCE 236.71 FEET; THENCE N 89°28'29" W FOR A DISTANCE OF 139.46 FEET; THENCE N 00°31'31" E FOR A DISTANCE 236.71 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS 0.754± ACRES MORE OR LESS.

**DESCRIPTION: PARCEL 2**

LANDS LYING IN THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 1, BLOCK E, HIGHLANDS UNIT I - REPLAT, AS RECORDED IN PLAT BOOK 20, PAGE 29, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF STATE ROAD No. 50 (A VARIABLE WIDTH RIGHT-OF-WAY), THENCE RUN S 89°28'29" E FOR A DISTANCE OF 210.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID HIGHLANDS UNIT I - REPLAT; THENCE N 02°41'09" E FOR A DISTANCE OF 3.00 FEET; THENCE S 89°28'29" E FOR A DISTANCE OF 516.84 FEET FOR A POINT OF BEGINNING; THENCE S 89°28'29" E FOR A DISTANCE OF 182.00 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, S 00°31'31" W FOR A DISTANCE 236.71 FEET; THENCE N 89°28'29" W FOR A DISTANCE OF 136.62 FEET; THENCE N 00°31'31" E FOR A DISTANCE 236.71 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS 0.742± ACRES MORE OR LESS.

**DESCRIPTION: PARCEL 3**

LANDS LYING IN THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 1, BLOCK E, HIGHLANDS UNIT I - REPLAT, AS RECORDED IN PLAT BOOK 20, PAGE 29, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF STATE ROAD No. 50 (A VARIABLE WIDTH RIGHT-OF-WAY), THENCE RUN S 89°28'29" E FOR A DISTANCE OF 210.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID HIGHLANDS UNIT I - REPLAT; THENCE N 02°41'09" E FOR A DISTANCE OF 3.00 FEET; THENCE S 89°28'29" E FOR A DISTANCE OF 334.84 FEET FOR A POINT OF BEGINNING; THENCE S 89°28'29" E FOR A DISTANCE OF 182.00 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, S 00°31'31" W FOR A DISTANCE 236.71 FEET; THENCE N 89°28'29" W FOR A DISTANCE OF 182.00 FEET; THENCE N 00°31'31" E FOR A DISTANCE 236.71 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS 0.990± ACRES MORE OR LESS.

**DESCRIPTION: PARCEL 4**

LANDS LYING IN THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 1, BLOCK E, HIGHLANDS UNIT I - REPLAT, AS RECORDED IN PLAT BOOK 20, PAGE 29, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF STATE ROAD No. 50 (A VARIABLE WIDTH RIGHT-OF-WAY), THENCE RUN S 89°28'29" E FOR A DISTANCE OF 210.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID HIGHLANDS UNIT I - REPLAT; THENCE N 02°41'09" E FOR A DISTANCE OF 3.00 FEET; THENCE S 89°28'29" E FOR A DISTANCE OF 153.18 FEET FOR A POINT OF BEGINNING; THENCE S 89°28'29" E FOR A DISTANCE OF 181.66 FEET; THENCE N 00°31'31" E FOR A DISTANCE 407.38 FEET; THENCE N 89°28'29" W FOR A DISTANCE OF 181.66 FEET; THENCE N 00°31'31" E FOR A DISTANCE 407.38 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS 1.699± ACRES MORE OR LESS.

**DESCRIPTION: PARCEL 5**

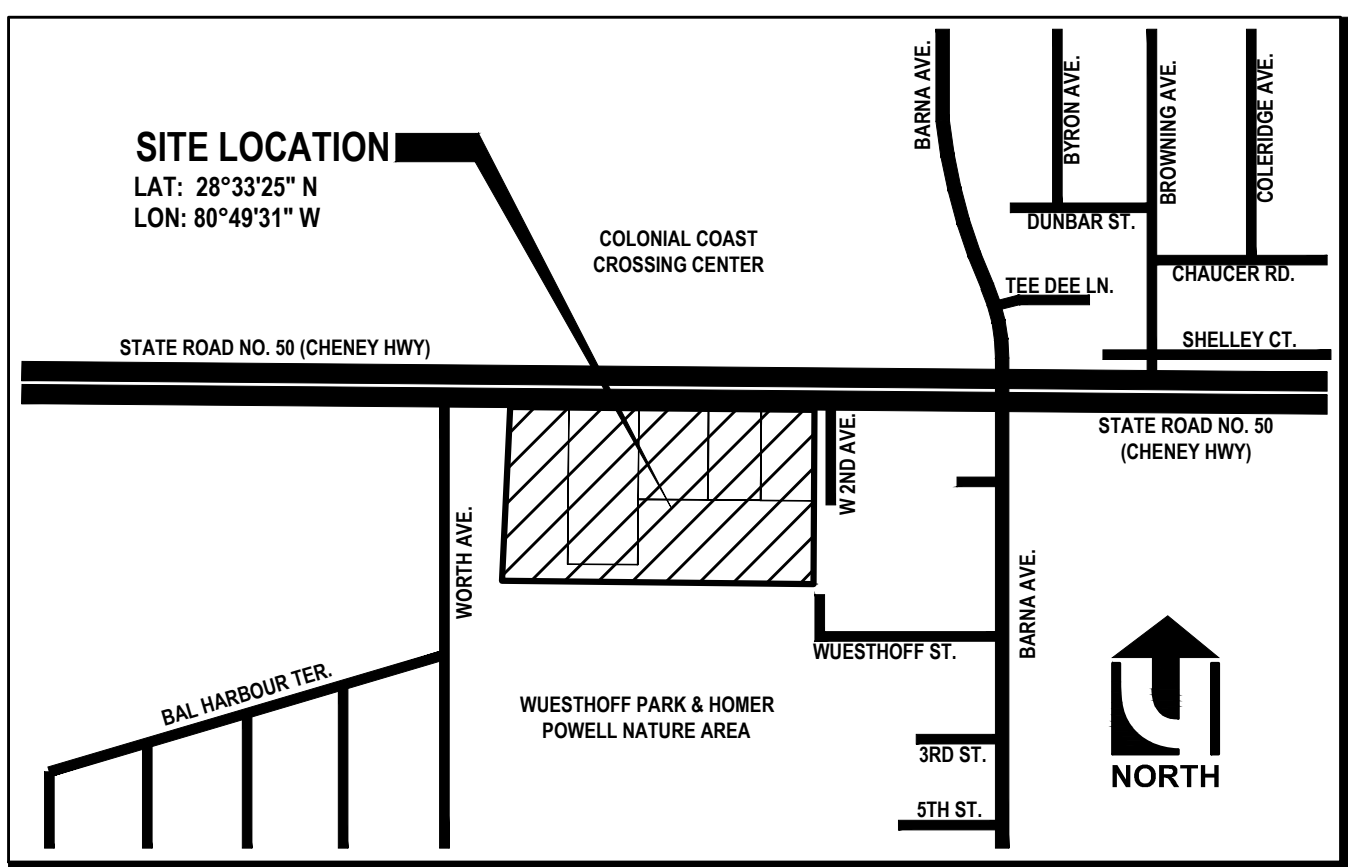
LANDS LYING IN THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 1, BLOCK E, HIGHLANDS UNIT I - REPLAT, AS RECORDED IN PLAT BOOK 20, PAGE 29, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF STATE ROAD No. 50 (A VARIABLE WIDTH RIGHT-OF-WAY), THENCE RUN S 89°28'29" E FOR A DISTANCE OF 210.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID HIGHLANDS UNIT I - REPLAT; SAID POINT ALSO BEING A POINT OF BEGINNING; THENCE N 02°41'09" E FOR A DISTANCE OF 3.00 FEET; THENCE S 89°28'29" E FOR A DISTANCE OF 153.18 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, S 00°31'31" W FOR A DISTANCE 407.38 FEET; THENCE S 89°28'29" E FOR A DISTANCE OF 181.66 FEET; THENCE N 00°31'31" E FOR A DISTANCE OF 170.67 FEET; THENCE S 89°28'29" E FOR A DISTANCE OF 458.09 FEET; THENCE S 00°12'46" W FOR A DISTANCE OF 216.35 FEET; THENCE N 89°26'53" W FOR A DISTANCE OF 811.26 FEET TO A POINT ON THE EASTERLY LINE OF SAID HIGHLANDS UNIT I - REPLAT; THENCE N 02°41'48" E ALONG THE EASTERLY LINE OF HIGHLAND UNIT I - REPLAT, FOR A DISTANCE OF 450.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS 4.147± ACRES MORE OR LESS.

**GENERAL NOTES AND SURVEY REPORT:**

- BEARINGS AS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE GRID, NORTH AMERICAN DATUM OF 1983 (NAD83) WITH 2011 ADJUSTMENT AS DERIVED FROM THE LENGEMANN NETWORK, A TOPCON GNSS NETWORK. AS A REFERENCE FOR THIS SURVEY, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD No.50 HAVING A BEARING OF (S 89°28'29" E).
- LEGAL DESCRIPTION PER TITLE COMMITMENT
- MEASURED DIMENSIONS ARE DENOTED (M), WHEN DIFFERS FROM RECORDED/DESCRIBED DIMENSIONS. DIMENSIONS INDICATED HEREON ARE IN U.S. STANDARD FEET AND DECIMAL PART THEREOF, UNLESS OTHERWISE NOTED HEREON.
- ACCURACY STATEMENT: THE EXPECTED ACCURACY OF THE CONTROL TO ESTABLISH THE BOUNDARY OF THE SUBJECT PROPERTY IS COMMERCIAL. THE CLOSURE OF THE TRAVERSE FOR THIS PROJECT EXCEEDS 1:10,000.
- MEASUREMENT METHODS: HORIZONTAL AND VERTICAL MEASURES MADE BY ONE OR MORE OF THE FOLLOWING INSTRUMENTS: TOPCON INSTRUMENTS GPT-3003W, SOKKIA GRX-1 GPS INSTRUMENTS, TOPCON FC500 & FC6000 DATA COLLECTORS USING MAGNET SOFTWARE, PAL-2 LUFKIN STEEL TAPE, CST STEEL TAPE, STEEL HIGHWAY CHAIN, CST & LUFKIN FIBERGLASS TAPE FOR DIMENSIONS FOR BUILDINGS.
- THE "ADDITIONAL EXCEPTION" SHOWN IN THE SOUTHWEST CORNER AND ADDED TO THE LEGAL DESCRIPTION IS TO ACCOUNT FOR PART OF THE LAND THAT LIES WITHIN THE HIGHLANDS UNIT 1 - REPLAT, PLAT BOOK 20, PAGE 29.
- LINEAGE OF DATA HORIZONTAL DATA REFERENCES, DATE OF ORIGINAL PLAT.
  - SUN VALLEY SUBDIVISION - PB 11, PG 29
  - HIGHLANDS UNIT 1 REPLAT - MB 20, PG 29
  - BOUNDARY SURVEY PERFORMED BY: HOLLEY & ASSOCIATES, INC. - DATED: JULY 23, 2021 - FILE #368008
  - BOUNDARY SURVEY PERFORMED BY: A1A SURVEYING, INC. - DATED: NOVEMBER 23, 2020 - FILE #20-0854
  - BOUNDARY SURVEY PERFORMED BY: CANAVERAL ENGINEERING GROUP - DATED: MARCH 25, 2003 - FILE #223528-03-A-1
- LIMITATIONS:
  - ALL INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAY AND OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR PER TITLE COMMITMENT AS SHOWN HEREON. THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE NOT SHOWN ON THIS PLAT OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. IF LOCATION OF EASEMENTS OR RIGHT-OF-WAY OF RECORD, OTHER THAN THOSE ON RECORD PLATS, IS REQUIRED, THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR AND MAPPER.
  - IT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THIS SURVEYOR AND THE FIRM, FROM WHICH IS FORMULATED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH, DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. FURTHERMORE, THIS SURVEYOR AND FIRM, DOES NOT ASSUME RESPONSIBILITY AND SHALL NOT BE LIABLE FOR CLAIMS ARISING FROM ERRONEOUS OR INCORRECT INFORMATION FURNISHED BY THE OWNER, LENDER, OR OWNER'S CONTRACTORS OR OTHERS, WHICH IS USED AS A BASIS TO FORMULATE THIS SURVEYOR'S OPINION.
  - THE ACCEPTANCE OF THIS SURVEY AS CERTIFIED FOR THE EXCLUSIVE USE OF NAMES SHOWN HEREON SHALL CONSTITUTE FULFILLMENT OF MY CONTRACTUAL OBLIGATION. ADDITIONAL SEALED ORIGINALS MAY BE PURCHASED UP TO SIX MONTHS AFTER THE DATE OF THE INVOICE. "ORIGINAL" AS DEFINED HEREON REFERS TO THE SIGNED AND SEALED GRAPHIC REPRESENTATION OF THE FIELD SURVEY. CAD FILES ARE NOT THE SURVEY AND THERE WILL BE A SURCHARGE FOR THEM. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY.
  - TAX PARCEL IDENTIFICATION NUMBERS, ADJACENT OWNERS NAMES AND ADDRESS WHEN SHOWN SHOWN IS EITHER SUPPLIED BY CLIENT AND/OR TAKEN FROM COUNTY APPRAISER'S INTERNET WEB PAGE AND MAY NOT BE THE MOST CURRENT.



**LOCATION MAP**  
SCALE 1" = 500'

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL E. AWAD, PSM ON THE DATE AND TIME STAMP, AS SHOWN HEREON, USING AN ELECTRONIC SIGNATURE. THIS ELECTRONIC SIGNATURE AND SEAL ARE IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE CHAPTER 1J-10.05, EFFECTIVE DATE: JULY 15, 2018.

AN ELECTRONIC SIGNATURE IS A DIGITAL AUTHENTICATION PROCESS ATTACHED TO OR LOGICALLY ASSOCIATED WITH AN ELECTRONIC DOCUMENT AND SHALL CARRY THE SAME WEIGHT, AUTHORITY AND EFFECT AS AN ORIGINAL SIGNATURE AND SEAL. THE ELECTRONIC SIGNATURE, WHICH CAN BE GENERATED BY USING EITHER PUBLIC KEY INFRASTRUCTURE OR SIGNATURE DYNAMICS TECHNOLOGY, MUST BE AS FOLLOWS:

- UNIQUE TO THE PERSON USING IT
- CAPABLE OF VERIFICATION
- UNDER THE SOLE CONTROL OF THE PERSON USING IT
- LINKED TO A DOCUMENT IN SUCH MANNER THAT THE ELECTRONIC SIGNATURE IS INVALIDATED IF ANY DATA IN THE DOCUMENT IS CHANGED.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED AND THE SIGNATURE & SEAL MUST BE VERIFIED ON ALL ELECTRONIC COPIES.

**SURVEYOR'S CERTIFICATION:**

CERTIFIED FOR THE EXCLUSIVE USE OF AS FOLLOWS:

ROCK PROPERTIES, INC., A FLORIDA CORPORATION  
DONALD R. MANCINI TRUST U/A/D 1ST DAY OF JULY 2004  
FIRST AMERICAN LAND TITLE INSURANCE COMPANY  
BDCW HOLDINGS, LLC

THE FOREGOING PLAT IS CERTIFIED TO MEET THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS, EFFECTIVE DATE JULY 1, 2018, AS PURSUANT TO SECTIONS SJ-17.051 AND SJ-17.052, FLORIDA ADMINISTRATIVE CODE.

DATE OF FIELD WORK: 11/15/2023

THIS ITEM HAS BEEN SIGNED AND SEALED ON THE DATE AND TIME AS SHOWN HEREON; NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER; FLORIDA ADMINISTRATIVE CODE SJ-17.062

BY: MICHAEL E. AWAD, PSM No. 5574 DATE: 02/12/2024



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SEE CERTIFICATION FOR SURVEYOR SIGNATURE

DESCRIPTION

THIS REPORT IS NEITHER FULL NOR COMPLETE WITHOUT THE MAP

TYPE OF SURVEY:	SPECIAL PURPOSE (NON-RES MINOR DIVISION)
MAP SUBJECT:	PARCEL ID: 22-15-28-00-250
ADDRESS:	2035 CHENEY HWY (SR 50) TITUSVILLE, FLORIDA

LOCATION No:	22-35-28
PROJECT No:	240111
FIELD WORK BY:	JGP
DATE:	11/15/2023
OFFICE WORK BY:	JAE
DATE:	02/12/2024
FIELD BOOK & PG:	## - ##
SCALE:	AS SHOWN
SHEET NUMBER:	

**SU-2**

REFERENCED TITLE COMMITMENT:

AS TO COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO.: 11495280, FILE NO. CTIC-23002473/402300952SJ, DATED 08/19/2025 AT 5:00 PM, REVISION NUMBER 8/5/2025/jdb

SCHEDULE B-II ITEMS

AS TO REFERENCED TITLE COMMITMENT

Table with 3 columns: #, DESCRIPTION, NOTES. Contains 18 items detailing title commitments, easements, and encroachments.

SURVEYOR'S NOTES:

- 1. BEARINGS SHOWN ARE REFERENCED TO NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83/2011), WITH THE MONUMENTATION ALONG THE SOUTH RIGHT OF WAY LINE OF CHENEY HIGHWAY...

LEGAL DESCRIPTION: (PER REFERENCED TITLE COMMITMENT)

LANDS LYING IN THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LEGAL DESCRIPTION: (AS SURVEYED)

LANDS LYING IN THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LIST OF POSSIBLE ENCROACHMENTS:

- ABOVE GROUND IMPROVEMENTS LOCATED ONLY IN THE SPECIFIC PURPOSE TOPO SURVEY AS SHOWN, PER CONTRACTED SCOPE OF WORK. THERE MAY BE OTHER IMPROVEMENTS OUTSIDE THE SURVEY AREA WHICH ARE NOT SHOWN...

LAND TABULATIONS:

PROPERTY AREA: 0.989 ACRES±

FEMA FLOOD ZONE DETERMINATION

FLOOD ZONE "X"
PANEL # 12009C 0215C
EFFECTIVE 03/17/2014
COMMUNITY # 125152 - CITY OF TITUSVILLE

ADDITIONAL INFORMATION

STREET ADDRESS: 2035 CHENEY HIGHWAY, TITUSVILLE, FL 32780
PARCEL CONTROL NUMBER: 22-35-28-00-250

ABBREVIATIONS LEGEND

- POC = POINT OF COMMENCEMENT
POB = POINT OF BEGINNING
IP = IRON PIPE
IR4 = 1/2" IRON ROD (#4 REBAR)

SYMBOLS LEGEND

- WOOD UTILITY POLE
CONC UTILITY POLE
LIGHT POLE
GUY WIRE ANCHOR
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
WATER VALVE
WATER METER
BACKFLOW PREVENTER VALVE
DOUBLE DETECTOR CHECK VALVE
WIRE PULL BOX
SEWER VALVE
SEWER MANHOLE
DRAINAGE MANHOLE
DISABLED PARKING
TRAFFIC DIRECTION
SPOT ELEVATION
OVERHEAD WIRES
BURIED ELECTRIC
TELEPHONE
FIBER OPTIC
GAS
SANITARY SEWER
STORM SEWER
WATER
UNKNOWN

TREE ABBREVIATIONS

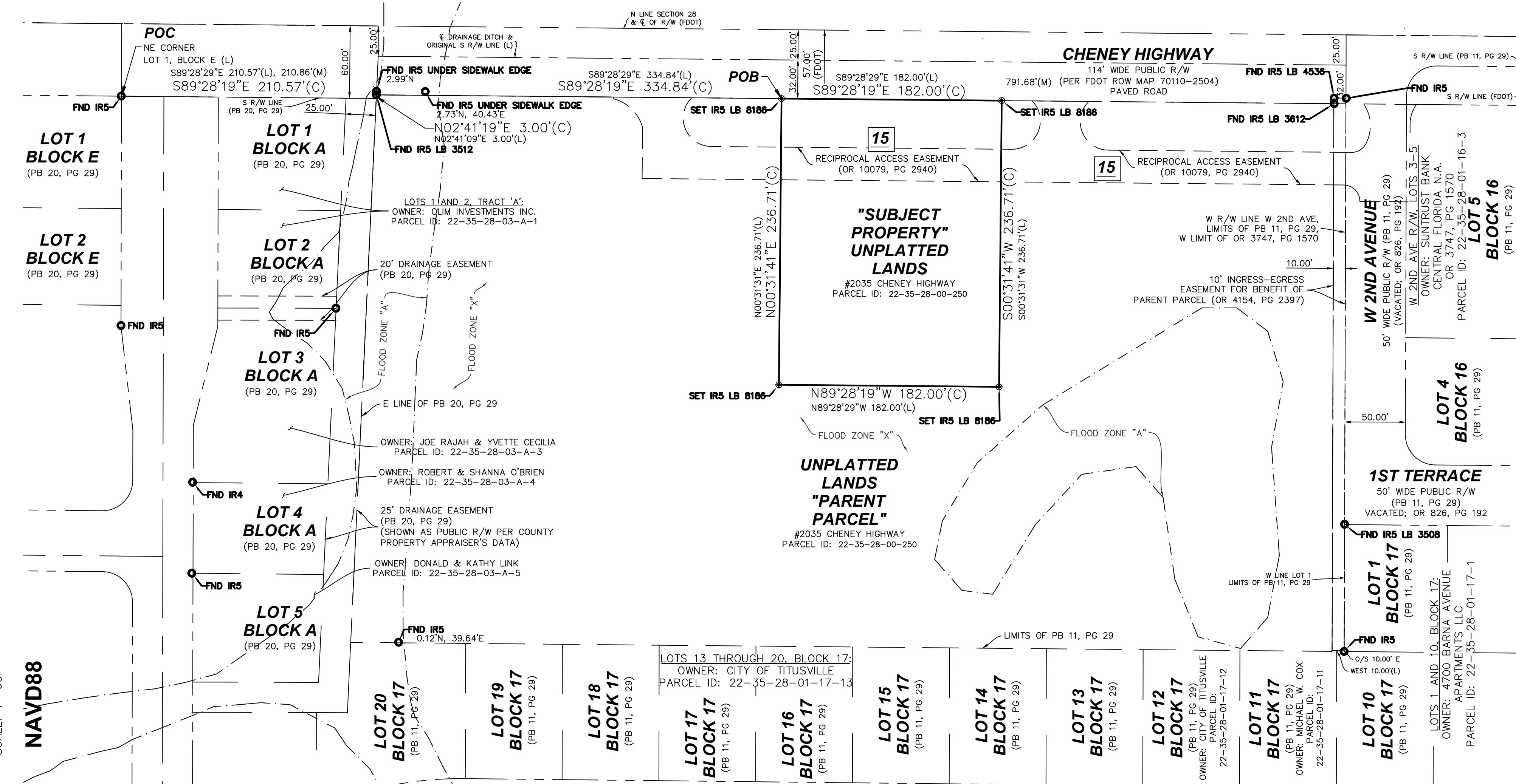
- DIAMETER AT BREAST HEIGHT (INCHES)
CABBAGE PALM
ROYAL PALM
OTHER PALM
BLACK OLIVE
OAK TREE
BOTTLE BRUSH
TABERNAEMONTANA
STRANGLER FIG
FICUS
GUMBO LIMBO
PINE TREE
MAGNOLIA
CYPRIPRESS
MAPLE TREE
HOLLY TREE
JACARANDA
UNKNOWN TREE
COMMON TREE TYPES (E.G., OAK)
SPECIMEN TREE (E.G., TROPICAL HARDWOODS)
NEEDLE BEARING TREE (E.G., PINE OR CYPRESS)
CABBAGE PALM
OTHER PALM

SURVEYOR'S CERTIFICATION:

TO: 1. JPMORGAN CHASE BANK, N.A. 2. CHICAGO TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS...

WILLIAM J. WRIGHT, P.S.M. LICENSE NO. 6868, STATE OF FLORIDA

ELECTRONIC VERSION SIGNED AND SEALED BY WILLIAM J. WRIGHT, P.S.M., ON DATE SHOWN, USING AN SHA-1 AUTHENTICATION CODE. THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PAPER COPIES NOT VALID WITHOUT ORIGINAL INK SIGNATURE AND RAISED SEAL.



SKETCH OF LEGAL DESCRIPTION

Vertical sidebar containing logos for Dynamic Engineering, WrightPSM, and 811, along with project information, contact details, and a title block.



**Sec. 32-9. Ground sign regulations.**

- (a) Surface area. The total aggregate area of all ground or monument signs (including directory of occupant signs), for a development shall not exceed thirty-two (32) square feet per first acre, or fraction thereof. Sites exceeding one (1) acre shall be permitted additional signage surface area calculated at a rate of thirty-two (32) square feet per acre to a maximum of one hundred fifty (150) square feet per sign and four hundred fifty (450) square feet per development; or
- (b) The maximum area of ground or monument signs (including directory of occupant signs) for a development shall be based upon street frontage on a ROW as listed below:

25 feet—100 feet	32 square feet
101 feet—300 feet	64 square feet
301 feet—500 feet	96 square feet
501 feet and over	150 square feet

- (c) When determining the size/surface area of ground or monument sign either the requirements of Section 32-9(a) or 32-9(b) of this chapter shall be used. In no case shall a combination or mixing of these two (2) criteria be allowed. Any change of signage shall follow the same criteria. If the sign area criteria are changed, then all other signage on the site shall be required to be changes to the same criteria.
- (d) Monument signs may be granted an additional surface area credit of twenty-five (25) percent subject to all of the following criteria being met:
  - (1) A monument sign shall not exceed a height of ten (10) feet.
  - (2) Required to be a true monument sign with entire base upon the ground, not a pole with a skirt around it to make the sign appear to be a monument sign.
  - (3) The maximum size/surface area of a monument sign, even with twenty-five (25) percent surface area credit, shall not exceed one hundred fifty (150) square feet.
  - (4) In order to insure that monument signs are installed in a safe manner in regard to vehicular and pedestrian safety, a safe sight triangle area of ten (10) feet by fifty (50) feet (ten (10) feet; along driveway by fifty (50) feet along the ROW) shall be required from all drive ways or access points. This ten (10) feet by fifty (50) feet placement criteria may be reduced by the Administrator on lots with access from rights-of-way with a one-way traffic flow only when it can be unquestionably demonstrated by the applicant that such placement will pose no line of sight obstruction and unquestionably demonstrated by the applicant that such placement will create no traffic/pedestrian safety problems. Such administrative action shall only be when a sign is placed in a manner that is not in conflict with the one-way traffic flow and line-of-sight. The Administrator is in no way required and/or obligated to grant such reduction.
  - (5) The sight distance criteria as noted in the Transportation Technical Manual shall be required to be met.
- (e) Number of signs. Except as authorized by this section, no development may have more than one (1) ground sign.
  - (1) Corner lots with a roadway classification of collector or higher (a lot bounded on more than one (1) side by paved street/ROW) may have signage on each street frontage according to paragraph (a) or (b) above. Corner lots within the Central Business District zoning designation shall be exempt to the roadway classification restriction.

- (2) If a development is located on a lot that is bordered by two (2) public streets that do not intersect at the lot's boundaries (double front lot), with a roadway classification of collector or higher, then the development may have one (1) ground sign on each side of the development bordered by such streets according to paragraph (a) or (b) above. Double front lots within the Central Business District zoning designation shall be exempt to the roadway classification restriction.
- (f) Location of ground signs.
- (1) Ground signs shall be set back a minimum of ten (10) feet from all property lines in a landscaped area at least equal in square footage of said sign. Setback shall be measured from the leading edge of the sign.
- (2) Sites within the Downtown Mixed-Use land use designation as noted on the City's Future Land Use Map shall have no setback criteria from a property line subject to line-of-site (safe sight triangle/visibility criteria) being met and subject to no portion of the sign intruding into the ROW/past the property line.
- (g) Height of ground signs. All ground sign[s] shall be measured from existing grade.
- (1) No ground sign shall exceed thirty-five (35) feet in height for properties fronting arterial roadways.
- (2) No ground sign shall exceed fifteen (15) feet in height for properties fronting all other road classifications.
- (3) Per the requirements of Section 32-44(2) of this chapter, the maximum height of ground signs in the Downtown Mixed-Use Land Use Designation shall not exceed fifteen (15) feet.
- (h) Interstate access zones: Interstate access zones are designated where a state highway permits direct access to I-95. The Interstate access zone shall extend one-quarter (¼) mile (one thousand three hundred twenty (1,320) feet) measured lineally from the intersection of the state highway and the centerline of the I-95 right-of-way. Commercial property with a minimum of fifty (50) feet of frontage on an existing improved (i.e. paved street) public/private ROW and located within the interstate access zone shall be allowed the following signage:
- (1) Except as noted specifically in this subsection all other signage requirements of this chapter shall be required to be met.
- (2) One (1) high rise ground sign may be permitted on a lot in the interstate access zone as follows:
- a. Maximum height.

State Highway No.	(above existing grade)
SR 406	75 feet
SR 50	75 feet

- b. Surface area. The size of a high rise sign for a development shall not exceed sixty-four (64) square feet per first acre, or fraction thereof. Sites exceeding one (1) acre shall be permitted additional signage surface area calculated at a rate of sixty-four (64) square feet per acre to a maximum of two hundred fifty (250) square [feet]; or
- c. A sign surface area of two (2) square feet for each linear foot of building frontage facing the front lot line/road-right-of-way line shall be allowed (front lot line as noted in the definition of setback [front setback] in Section 27-11 of these [Land Development] Regulations shall be used). Maximum allowable area per sign shall not exceed of two hundred fifty (250) square feet.
1. Only that portion of the building under air facing the front lot line/road-right-of-way line shall be used. All other building frontage/elevations shall not be used to calculate sign area.

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Building embellishments, appendages, screening walls, etc., shall not be used to calculate sign area.

2. Only that portion of the building frontage running nearest to parallel to the front lot line/road-right-of-way line shall be used. In no instance shall more than one (1) building frontage/elevation be used to calculate sign area.
  3. In the event the front lot line/road-right-of-way line distance is less than the building frontage the length of the front lot line/road-right-of-way line shall be used.
  4. High rise sign shall be setback a minimum of fifty (50) feet from all property lines. This setback shall be required to be increased to one hundred (100) feet when abutting residential zoning and/or use.
  5. Application for high rise signs shall include calculations, by a registered engineer, noting that the fall radius (i.e. break point) will allow the entire sign to collapse entirely upon the site it is erected upon.
  6. Permit applications submitted pursuant to this subsection shall include a site plan with elevations.
  7. In no instance shall a billboard be permitted as a high rise sign.
  8. Variance to the maximum permitted height or size of a high rise sign shall not be permitted.
- d. When determining the size/surface area of high rise sign either the requirements as noted above in subsection (b) or (c) shall be used. In no case shall a combination or mixing of these two (2) criteria be allowed. Any change of signage shall follow the same criteria. If the sign area criteria are changed, then all other signage on the site shall be required to be changed to the same criteria.
- e. The aggregate area of all ground/pole signs on a site in the interstate access zone (ground sign under thirty-five (35) feet in height and high rise sign) shall not exceed four hundred fifty (450) square feet.

### **Sec. 32-10. Wall sign regulations.**

Except as authorized by this section, each separately licensed business shall be allowed one (1) wall sign.

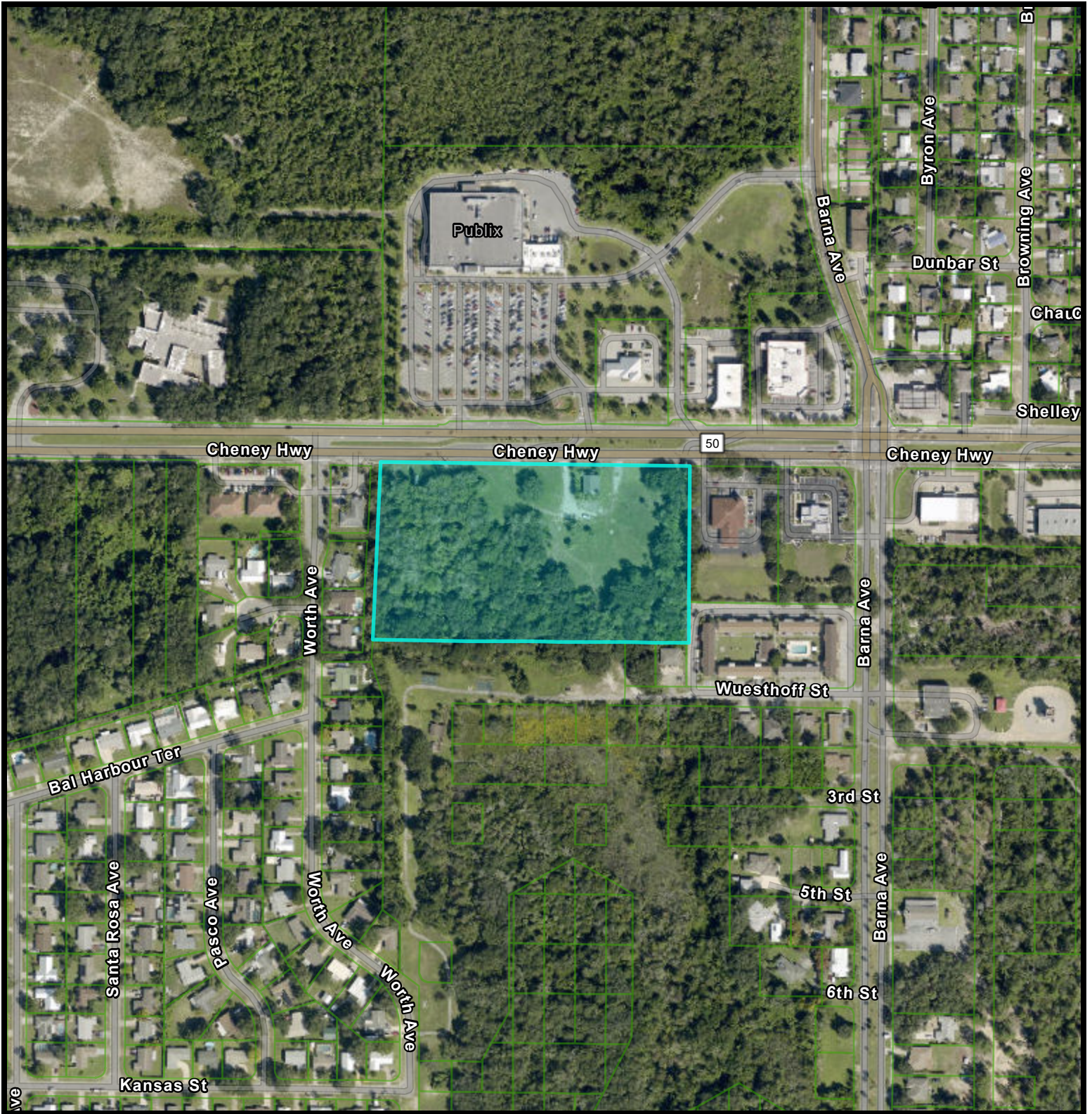
(a) Single-tenant buildings.

- (1) The aggregate square footage of wall signs shall not exceed twenty (20) percent of the building face to which it is affixed.
- (2) Buildings having more than one (1) street frontage (on an existing paved ROW) may have one (1) additional wall sign affixed to that secondary ROW frontage. The size of this secondary wall sign shall not exceed ten (10) percent of the smallest/narrowest building elevation or equal to the size of the primary wall sign, whichever is less. Regardless of the number of street frontages, no more than two (2) wall signs shall be permitted.

(b) Multi-tenant buildings.

- (1) The aggregate square footage of wall signs shall not exceed twenty (20) percent of building elevation of the tenant unit to which it is affixed.
- (2) Buildings having more than one (1) street frontage may have additional wall signage affixed to that secondary ROW frontage as follows:

- 
- a. Corner-unit tenants may have one (1) additional wall sign affixed to their secondary ROW frontage. The size of this secondary wall sign shall not exceed ten (10) percent of the smallest/narrowest building elevation or equal to the size of the primary wall sign, whichever is less; or
  - b. A multi-tenant directory wall sign may be affixed to the secondary ROW frontage according to paragraph (b)(1) above.
- (c) No wall sign may extend above any parapet or be placed upon any roof surface, except that for purposes of this section, roof surfaces constructed at an angle of seventy-five (75) degrees or more from horizontal shall be regarded as wall space. This subsection shall not apply to displays, including lighting, erected in connection with the observation of holidays on roofs.
- (d) No sign attached to a building may project more than twelve (12) inches from the building wall.

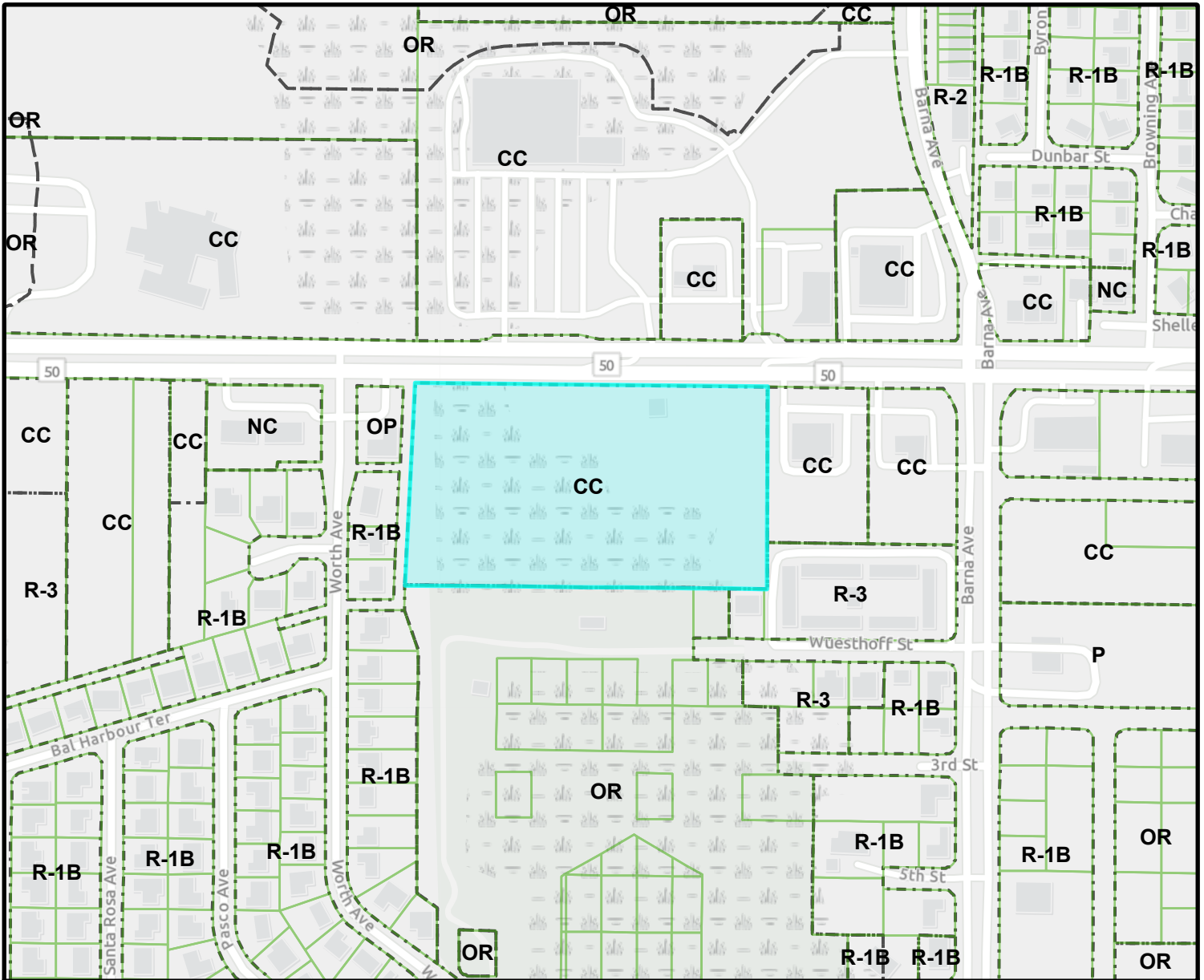


# City of Titusville - General Use Map



Titusville Parcels





# ZONING MAP

## RESIDENTIAL DISTRICTS

- RE RESIDENTIAL ESTATES
- RR RURAL RESIDENTIAL
- R-1A SINGLE FAMILY, LOW DENSITY
- R-1B SINGLE FAMILY, MEDIUM DENSITY
- R-1C SINGLE FAMILY, HIGH DENSITY
- R-2 MULTIFAMILY, MEDIUM DENSITY
- R-3 MULTIFAMILY, HIGH DENSITY
- RMH-1 RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
- RMH-2 RESIDENTIAL MANUFACTURED HOUSING PARK

## COMMERCIAL DISTRICTS

- HM HOSPITAL MEDICAL
- T TOURIST
- NC NEIGHBORHOOD COMMERCIAL
- CC COMMUNITY COMMERCIAL
- RC REGIONAL COMMERCIAL
- OP OFFICE PROFESSIONAL

## INDUSTRIAL DISTRICTS

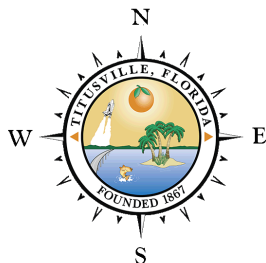
- M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2 HEAVY INDUSTRIAL
- M-3 HIGHWAY INDUSTRIAL INFILL
- PID PLANNED INDUSTRIAL DEVELOPMENT

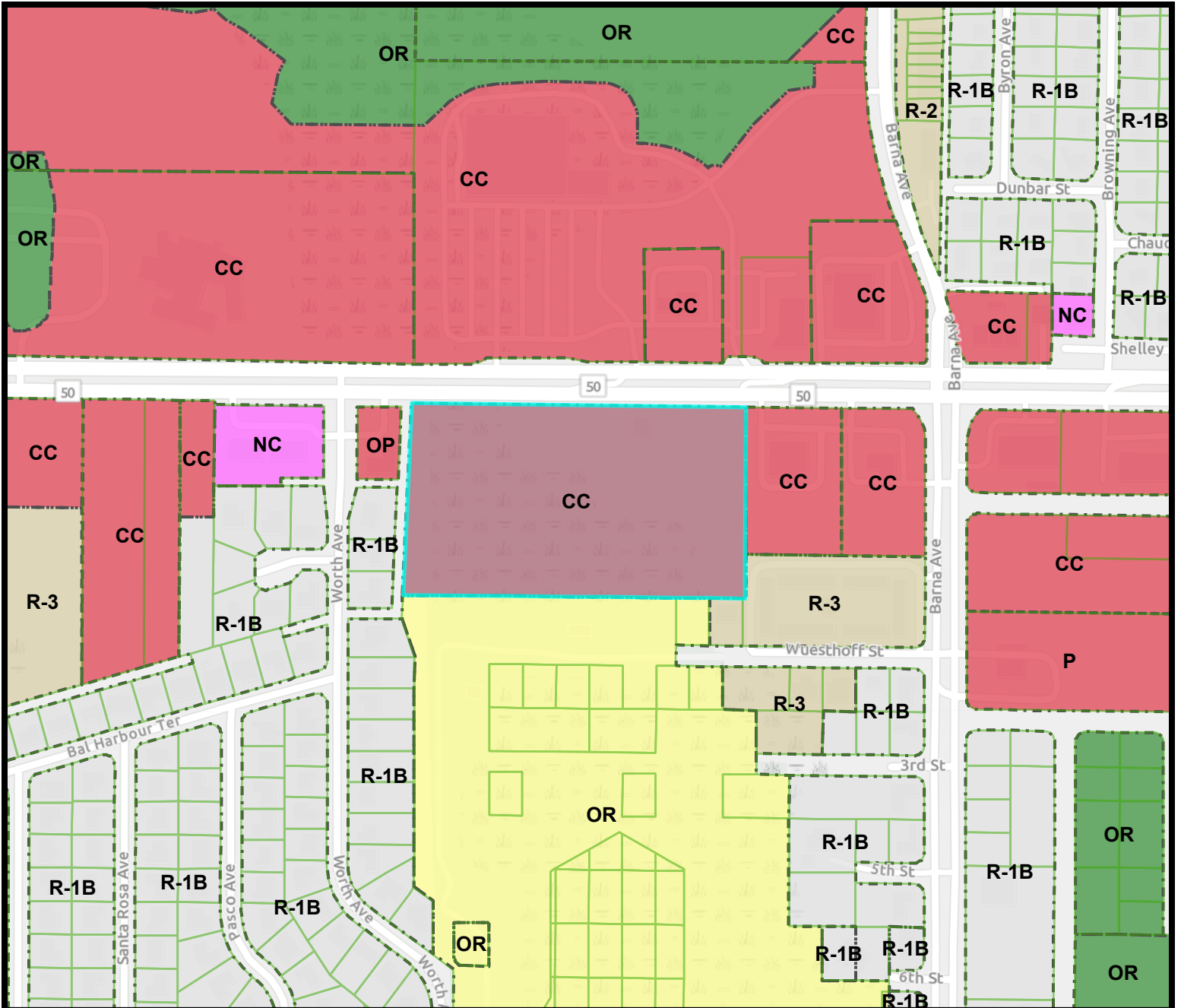
## OVERLAY DISTRICTS

- TSA TITUSVILLE SHORELINE AREA
- AIA AIRPORT IMPACT AREA
- WCA WETLAND AND CONSERVATION AREA
- ACC AREA OF CRITICAL CONCERN
- HPA HISTORIC PRESERVATION AREA

## SPECIAL DISTRICTS

- GU GENERAL USE
- OR OPEN SPACE AND RECREATION
- UMU URBAN MIXED USE
- SMU SHORELINE MIXED USE
- RHP RESIDENTIAL HISTORIC PRESERVATION
- RMU REGIONAL MIXED USE
- PD PLANNED DEVELOPMENT
- P PUBLIC
- UV URBAN VILLAGE
- DMU DOWNTOWN MIXED USE
- IRCN-R INDIAN RIVER CITY NEIGHBORHOOD RESIDENTIAL
- IRCN-C INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL





## FUTURE LAND USE MAP

<b>CHI</b> COMMERCIAL HIGH INTENSITY	<b>ED</b> EDUCATIONAL	<b>PIP</b> PLANNED INDUSTRIAL PARK	<b>RES-2</b> RESIDENTIAL-2
<b>CLI</b> COMMERCIAL LOW INTENSITY	<b>IND</b> INDUSTRIAL	<b>PSP</b> PUBLIC/ SEMI-PUBLIC	<b>RMU</b> REGIONAL MIXED USE
<b>CONS</b> CONSERVATION	<b>HDR</b> HIGH-DENSITY RESIDENTIAL	<b>PUD</b> PLANNED UNIT DEVELOPMENT	<b>SMU</b> SHORELINE MIXED-USE
<b>DMU</b> DOWNTOWN MIXED-USE	<b>MDR</b> MEDIUM-DENSITY RESIDENTIAL	<b>REC</b> RECREATIONAL	<b>UMU</b> URBAN MIXED-USE
<b>LDR</b> LOW-DENSITY RESIDENTIAL	<b>RES-1</b> RESIDENTIAL-1	<b>US1</b> US-1 CORRIDOR	



City of Titusville  
"Gateway to Nature and Space"

REPORT

**To:** Members of the Board of Adjustment and Appeals  
**From:** Bradley Parrish, Community Development Director  
**Subject:** **Variance (VAR) No. 5-2026, Parcel ID # 22-35-26-00-504.1**  
**Department/Office:** Planning

**Recommended Action:**

Consider the requested variance to allow a mini-warehouse to provide parking at a rate less than one (1) space for each twenty-five (25) storage cubicles and two (2) spaces for the manager's quarters, for a property with Parcel ID # 22-35-26-00-504.1.

**Summary Explanation & Background:**

The applicant is requesting a variance to the Land Development Regulations (LDR), Chapter 28, Section 28-214. Mini-warehouse, subsection 28-214(d)(1)(g) to allow a mini-warehouse to provide parking at a rate less than one (1) space for each twenty-five (25) storage cubicles and two (2) spaces for the manager's quarters, for a property located in the Light Industrial Services & Warehousing (M-1) zoning district, with Parcel ID # 22-35-26-00-504.1, as submitted by Christopher Collins, authorized applicant for GFG Private Funds LLC, Owner.

**Alternatives:**

**1. Approve the Variance**

Motion to approve VAR #5-2026, to allow fourteen (14) parking spaces, including one (1) ADA-accessible space, for a property located at Parcel ID # 22-35-26-00-504.1.

**2. Deny the Variance**

Motion to deny VAR #5-2026, to allow fourteen (14) parking spaces, including one (1) ADA-accessible space, for a property located at Parcel ID # 22-35-26-00-504.1.  
(State criteria for denial)

**3. Other — Staff Recommended Condition**

Motion to approve VAR #5-2026, to allow fourteen (14) parking spaces, including one (1) ADA-accessible space, with the condition that qualifying Low Impact Development (LID) Best Management Practices be incorporated into the site design consistent with Section 11 of the City of Titusville Technical Manuals, including preparation of an LID plan and associated operations and maintenance documentation in accordance with Sections 11.3 and 11.4.

**Item Budgeted:**

N/A

**Source/Use of Funds/Budget Book Page:**

**Strategic Plan:**

**Strategic Plan Impact:**

**ATTACHMENTS:**

1. VAR 5-2026 Staff Report
2. Application
3. Survey
4. Site Plan
5. Parking Study
6. Code
7. Maps



# City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 5-2026, Parcel ID # 22-35-26-00-504.1**

3 **Meeting Date:** February 25, 2026

4 **Prepared By:** Tabitha Armstrong, AICP - Planner

5 **Applicant:** Christopher Collins, authorized applicant for GFG Private Funds LLC, Owner

6 **Background**

7 (a) Variance request: The applicant is requesting a variance to the Land Development  
8 Regulations (LDR), Chapter 28, Section 28-214. Mini-warehouse, subsection 28-  
9 214(d)(1)(g) to allow a mini-warehouse to provide parking at a rate less than one  
10 (1) space for each twenty-five (25) storage cubicles and two (2) spaces for the  
11 manager's quarters, for a property located in the Light Industrial Services &  
12 Warehousing (M-1) zoning district, with Parcel ID # 22-35-26-00-504.1, as  
13 submitted by Christopher Collins, authorized applicant for GFG Private Funds  
14 LLC, Owner.

15 (b) Location: Tax No. 2213430. Parcel I.D. 22-35-26-00-504.1

16 (c) Land Description: PT OF GOVT LOT 3 DESC AS THAT PART OF ORB 1118  
17 PG 72 LYING W OF US HWY 1 & E OF FEC RR

18 (d) Future Land Use: Industrial

19 (e) Zoning: Light Industrial Services & Warehousing (M-1)

20 (f) Surrounding Zoning Districts.

21 1. North: Industrial (M-2)

22 2. South: Community Commercial (CC)

23 3. East: Planned Industrial Development (PID) & Planned Development (PD)

24 4. West: Florida East Coast Railroad & Open Space & Recreation (OR)

**Board of Adjustments and Appeals: Variance No. 5-2026**

1 (g) Lot Characteristics: The subject property is approximately 2.52 acres (109,648 sq.  
2 ft) with 438.55 feet of frontage along US Highway 1. These dimensions meet the  
3 minimum 5,000 sq. ft lot area and 50-foot lot width for a lot within the Light  
4 Industrial Services & Warehousing zoning district.

5 (h) Uses: Vacant Industrial Lot

6 **Powers of the BAA**

7 LDR Section 34-226 states that the Board shall grant a variance request when in the  
8 opinion of the Board of Adjustments and Appeals, owing to special conditions, the  
9 literal enforcement of such ordinance or regulations would do manifest injustice to, or  
10 impose an unnecessary hardship upon the applicant. In order to authorize any variance  
11 to the provisions of such ordinance, the Board must consider the following criteria:

12 (a) Special conditions and circumstances exist which are peculiar to the land,  
13 structure, or building involved and which are not applicable to other lands,  
14 structures or building in the same zoning.

15 (b) Special conditions and circumstances do not result from the actions of the  
16 applicant.

17 (c) Granting the variance requested will not confer upon the applicant any special  
18 privilege that is denied by the ordinance to other lands, buildings or structures in  
19 the same zoning district.

20 (d) The literal interpretation of the provisions of the ordinance would deprive the  
21 applicant of rights commonly enjoyed by other properties in the same zoning  
22 district under the terms of the ordinance.

23 (e) The variance granted is the minimum variance that will make possible the  
24 reasonable use of the land, building or structure.

25 (f) The granting of the variance will preserve the spirit of the ordinance and remain  
26 in harmony with its general purpose and intent.

27 (g) In granting the variance, the public safety and welfare must be assured.

28 (h) In no case shall the granting of a variance result in a change of use, which would  
29 not be permitted in that zone.

30 **Analysis**

31 The applicant is requesting a variance from Chapter 28, Section 28-214(d)(1)(g) of  
32 the Land Development Regulations (LDR) to allow a mini-warehouse facility to  
33 provide parking at a rate less than the Conditional Use Permit standard requirement of  
34 one (1) space for each twenty-five (25) storage cubicles and two (2) spaces for the  
35 manager’s quarters. The subject property is located within the Light Industrial

## Board of Adjustments and Appeals: Variance No. 5-2026

1 Services & Warehousing (M-1) zoning district, where mini-warehouse facilities are  
2 permitted subject to Conditional Use Permit approval. The applicant is currently in  
3 the process of seeking Conditional Use Permit approval, with hearing dates  
4 anticipated in March.

5 Pursuant to Section 28-214(d)(1)(g), the proposed development is required to provide  
6 forty-one (41) parking spaces based on the number of storage cubicles and the  
7 required parking for the manager's quarters. The applicant proposes to provide  
8 fourteen (14) parking spaces, including one (1) ADA-accessible space, and is  
9 requesting a variance to allow the reduced parking supply.

10 The requested reduction in parking may also be evaluated in relation to the City's  
11 Low Impact Development (LID) provisions. Section 11.1 of the Technical Manuals  
12 states that the City encourages the use of LID Best Management Practices (BMPs) in  
13 site design to better protect water quality and reduce flooding risks. Section 11.6,  
14 Table 11.2 identifies LID practices that may qualify developments for parking count  
15 flexibility incentives when incorporated into project design.

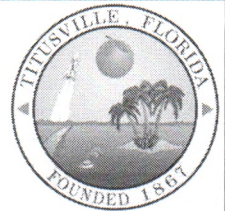
16 BMPs associated with parking count flexibility include measures that reduce paved  
17 surface area and improve on-site stormwater performance, such as minimizing total  
18 impervious surface area, minimizing directly connected impervious areas, reducing  
19 curb cuts, installing rainfall interceptor trees, utilizing pervious pavement systems,  
20 and incorporating distributed infiltration or stormwater harvesting practices.  
21 Qualifying BMPs must be documented through submission of an LID plan and  
22 associated operations and maintenance documentation in accordance with Sections  
23 11.3 and 11.4.

### 24 **Recommendation**

25 Staff recommends **approval** of the requested variance to allow fourteen (14) parking  
26 spaces, including one (1) ADA-accessible space, with the condition that qualifying  
27 Low Impact Development (LID) Best Management Practices be incorporated into the  
28 site design consistent with Section 11 of the City of Titusville Technical Manuals,  
29 including preparation of an LID plan and associated operations and maintenance  
30 documentation in accordance with Sections 11.3 and 11.4.



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**APPLICATION FOR VARIANCE**

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. **INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.**

<b>1. Project Location</b>	Property Address/Location Description 22-35-26-00-504.1 (vacant parcel/S. Washinton St.		
<b>2. Applicant/ Owner</b>	Name of Applicant/Contact Christopher Collins		Name of Owner GFG Private Funds, LLC
	Street Address 666 NE 125th St., Suite 247		Street Address 16445 Collins Ave., Apt PH24
	City	State	Zip
	North Miami	FL	33161
	Telephone # 321-217-6247		Telephone # 321-217-6247
Fax #		Fax #	
E-Mail Address ccollins@urbndesigngroup.com		E-Mail Address ccollins@urbndesigngroup.com	
<b>3. Applicant Status</b>	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Other		
<b>4. Parcel ID</b>	22-35-26-00-504.1	<b>Tax Acct.</b>	2213430
<b>5. Site Size</b>	Acres: 2.55	Square Feet: 116,310	
<b>6. Property Information</b>	Current Zoning M-1	Current Use of Property Vacant	
<b>7. Variance(s) Requested</b>	<i>Section Number</i>	<i>LDR Requirement</i>	<i>Variance Requested</i>
	1) 28-214	1) _____	1) parking reduction
	2) _____	2) _____	2) _____
	3) _____	3) _____	3) _____
	4) _____	4) _____	4) _____
5) _____	5) _____	5) _____	
<b>8. Narrative</b>	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application) See draft narrative for further explanation. Request reduction from required parking under conditional use standard to be consistent with parking required by independent study and Low Impact Development standards		

- **All applications shall require Community Development staff review prior to submittal.**
- All applications shall be submitted to the Department electronically and officially logged in by **end of business day**.
- Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information and fees are submitted. Meeting dates for incomplete applications will not be set until all required information and fees are submitted.
- Petitions requiring review from other boards or commissions prior to being forwarded to the Board of Adjustments and Appeals (BAA) are not guaranteed placement on the BAA schedule available on the City's website.

**ACKNOWLEDGEMENT**

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the City Council, Board of Adjustment & Appeals, and Planning & Zoning Commission on this topic to properly noticed public hearings or to written communication to the City Clerk's Office, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/

(Signature\*)

(Date)

*\* By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.*

Date received: \_\_\_\_\_

Accepted by \_\_\_\_\_

### Grounds For Granting A Variance

Section 31-51 of the Land Development Regulations of the City of Titusville empowers the Board of Adjustments and Appeals to grant variances to the requirements of the Land Development Regulations and certain other codes and/or ordinances. The Board may grant a variance if, in their opinion, the strict enforcement of these rules would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district. In granting a variance, the Board must consider whether or not the applicant's particular situation meets a certain set of criteria established in Section 34-226 of the Land Development Regulations. These criteria are as follows:

- (a) Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
- (b) Special conditions and circumstances do not result from the actions of the applicant.
- (c) Granting the variance requested will not confer upon the applicant any special privilege that is denied by the ordinance to other lands, buildings or structures in the same zoning district.
- (d) The literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance.
- (e) The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
- (f) The granting of the variance will preserve the spirit of the ordinance and remain in harmony with its general purpose and intent.
- (g) In granting the variance, the public safety and welfare must be assured.
- (h) In no case shall the granting of a variance result in a change of use which would not be permitted in that zoning district.

## Variance Justification

In answering the questions below, please be as specific as possible. Your answers will help the Board of Adjustments and Appeals and City staff to properly evaluate your variance request.  
(Please attach a separate sheet if necessary)

1. Why are you unable to comply with the requirements? What hardship or injustice are you claiming?

Literal compliance with conditional use standard would result in hardship to natural environment and wetlands by requiring unnecessary clearing and wetland impacts above and beyond that which would be needed based upon parking analysis and Low Impact Development guidelines

2. What is special about your property that would justify treating it differently than most other properties? (Examples of important special conditions include: narrow or odd shaped lot; excessive slope of land; soil or drainage limitations; unusual location of existing buildings on the lot; etc.) If the special conditions involve an existing building or structure, when was it built and are you the original owner?

Wetland locations and mature vegetation. Drainage limited by existing railroad tracks and US1 created wetlands on site that otherwise would not need be impacted but for unnecessary parking

3. Is your variance request the **minimum** change from the requirements that you need to overcome your hardship? Explain your answer. (For example, suppose you are requesting a 5 foot variance to the side yard setback requirement in order to build a single car garage 15 feet wide. Your request would **not** be the minimum since a single car garage 11 feet wide would be adequate and would only require a 1 foot variance.)

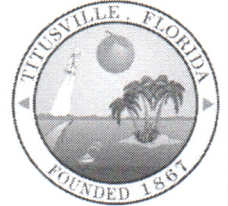
Yes.

4. Explain why approval of your variance request would not likely result in harm to your neighbor's properties or to the general public.

Requested variance would be in alignment with City goals of preservation of wetlands and mature vegetation, as set forth in City's stated goals for Low Impact Development and Comprehensive Plan.



Gateway to Nature & Space



### SUBMITTAL CHECKLIST

(Development Review Procedures Manual Section 15)

Please fill out the following and submit the documents to the Community Development Department electronically. Payment of fees does not ensure a favorable decision. Additional information may include documents initially waived at the pre-application meeting but subsequently determined necessary by staff.

1.	Complete Application and Fees	<input checked="" type="checkbox"/>
2.	Warranty Deed	<input checked="" type="checkbox"/>
3.	Notarized Owner Authorization Form (If applicable)	<input type="checkbox"/>
4.	Legal Description (from a certified survey)	<input checked="" type="checkbox"/>
5.	Certified Survey (sealed and containing permanent reference points as described by Chapter 177, Florida Statutes, with bearings, distances and closures) in electronic PDF format.	<input checked="" type="checkbox"/>
6.	Digital plot or site plan, drawn to scale, illustrating the variance requested.	<input checked="" type="checkbox"/>
7.	Names, addresses and address labels for all property owners within 100 feet of the subject property. <i>Note: This listing is available from either the Brevard County Property Appraiser's Office or the City of Titusville Planning Department. Current charge for this service is \$35.00.</i>	<input checked="" type="checkbox"/>
8.	Pre-Application Meeting Date: Staff in Attendance:	<input checked="" type="checkbox"/>



**SITE DATA**

- PARCEL ID NUMBER:** 22-35-26-00-504.1
- EXISTING SITE AREA/PROPERTY AREA:** 2.52AC (109,648 SF)
- LAND USE:**  
EXISTING: VACANT INDUSTRIAL LAND  
PROPOSED: MINI-WAREHOUSE
- ZONING:**  
EXISTING: M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING  
PROPOSED: (RC) REGIONAL COMMERCIAL
- BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 50'
- PROPOSED: SELF STORAGE**
- BUILDING SETBACKS:**

	MINIMUM	PROP. BLDG. SETBACK
FRONT (SOUTH WASHINGTON AVENUE)	25'	57'
SIDE (NORTH)	10'	37.23' MIN.
SIDE (SOUTH)	10'	139.63' MIN.
REAR (WEST)	25'	47'
- LOT COVERAGE:**  
MAXIMUM LOT COVERAGE 70% OF SITE: (0.70 \* 109,648 SF) = 76,754 SF  
PROPOSED LOT COVERAGE 25% OF SITE: (27,705 SF)
- PARKING REQUIREMENTS:**

SELF STORAGE: 971 UNITS	CRITERIA:	REQUIRED:
	1 PER 25 UNITS	39
	MANAGER'S OFFICE	2 SPACES

TOTAL SPACES REQUIRED: 41 SPACES  
TOTAL SPACES PROVIDED: 14 SPACES \*\* (including 1 ADA Space)

**\*\* PLEASE REFER TO PARKING ANALYSIS SUPPORTING REDUCED REQUIREMENTS.**
- OPEN SPACE**  
PROPOSED OPEN SPACE: 51,173 SF (1.17 AC) 47%

**LEGAL DESCRIPTION:**

THE LAND IS DESCRIBED AS FOLLOWS:

ALL OF GOVERNMENT LOT 3, SECTION 26, TOWNSHIP 22 SOUTH, RANGE 35 EAST, LYING WEST OF U.S.A. HIGHWAY NO. 1 AS RELOCATED; LESS AND EXCEPT THE RIGHT-OF-WAY OF THE FLORIDA EAST COAST RAILROAD, SAID RIGHT OF WAY BEING DESCRIBED AS PARCEL "4" IN DEED FROM S. JAMES COHEN, AS TRUSTEE, TO MONNI WEISBERGER, AS TRUSTEE, AS RECORDED IN OFFICIAL RECORDS BOOK 735, PAGE 80, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, AND ALSO LESS AND EXCEPT LAND AS DESCRIBED IN DEED FROM MONNI WEISBERGER, INDIVIDUALLY AND AS TRUSTEE, AND SHIRLEY WEISBERGER, HIS WIFE, TO AIR RANCH REALTY, INC., AS RECORDED IN OFFICIAL RECORDS BOOK 1084, PAGE 141, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, AND ALSO LESS AND EXCEPT THE FOLLOWING:

COMMENCE ON THE SOUTH LINE OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, AT ITS INTERSECTION WITH THE WESTERLY RIGHT OF WAY LINE OF RELOCATED U.S. HIGHWAY NO. 1; THENCE RUN NORTH 15°51'12" WEST, 788.35 FEET ALONG THE WESTERLY RIGHT OF WAY OF U.S. HIGHWAY NO. 1; THENCE NORTH 89°25'12" WEST, 260.65 FEET; THENCE SOUTH 15°51'12" EAST, 788.35 FEET ALONG THE EASTERLY RIGHT OF WAY LINE OF RELOCATED F.E.C. RAILWAY; THENCE SOUTH 89°25'12" EAST, 260.65 FEET ALONG THE SOUTH LINE OF SAID SECTION 26, TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT:

A PORTION OF LANDS DESCRIBED IN O.R. BOOK 3183, PAGES 706-707, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, LYING IN SECTIONS 26 AND 27, TOWNSHIP 22 SOUTH, RANGE 35 EAST, OF SAID BREVARD COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 27, SAID POINT BEING THE POINT-OF-BEGINNING; THENCE NORTH 89°39'09" WEST ALONG THE SOUTH LINE OF SAID SECTION 27, A DISTANCE OF 927.58 FEET TO THE EAST LINE OF LANDS DESCRIBED IN O.R. BOOK 1328, PAGE 286, OF THE SAID PUBLIC RECORDS OF BREVARD COUNTY; THENCE NORTH 00°20'51" EAST ALONG SAID EAST LINE, A DISTANCE OF 660.00 FEET TO THE NORTH LINE OF LANDS DESCRIBED IN O.R. BOOK 1328, PAGE 286; THENCE NORTH 89°39'09" WEST ALONG THE NORTH LINE OF LANDS DESCRIBED IN O.R. BOOK 1328, PAGE 286 AND THE NORTH LINE OF LANDS DESCRIBED IN DEED BOOK 69, PAGE 216, DEED BOOK 79, PAGE 68 AND O.R. BOOK 1033, PAGE 280, OF THE SAID PUBLIC RECORDS OF BREVARD COUNTY, A DISTANCE OF 1,262.74 FEET TO THE WEST LINE OF LANDS DESCRIBED IN O.R. BOOK 1033, PAGE 280; THENCE NORTH 00°20'51" WEST ALONG SAID WEST LINE, A DISTANCE OF 635.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF LITTLE LEAGUE LANE; THENCE NORTH 89°39'09" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 440.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SISON ROAD; THENCE NORTH 00°11'14" EAST ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 1,296.16 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF A 10 FOOT ROAD RIGHT-OF-WAY PER TITUSVILLE FRUIT AND FARMS LANDS CO., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 29, OF THE SAID PUBLIC RECORDS OF BREVARD COUNTY; THENCE SOUTH 89°39'10" EAST ALONG THE SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 2,622.17 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 27; THENCE SOUTH 89°30'31" EAST LEAVING SAID EAST LINE, A DISTANCE OF 325.12 FEET TO THE WEST RIGHT-OF-WAY LINE OF FLORIDA EAST COAST RAIL ROAD; THENCE SOUTH 15°57'05" EAST ALONG THE SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 1,377.01 FEET TO THE SOUTH LINE OF SAID SECTION 26; THENCE NORTH 89°32'34" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 695.10 FEET TO THE POINT-OF-BEGINNING.

**FDOT NOTES**

- ALL WORK PERFORMED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH 2024/25 EDITION OF THE FDOT STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION, 2024/25 FDOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE 2017 UTILITY ACCOMMODATION MANUAL.
- ALL PAVEMENT MARKINGS PERTAINING TO FDOT PROPOSED DRIVEWAY CONNECTION SHALL BE THERMOPLASTIC.
- ALL RAISED PAVEMENT MARKERS (RPM) INSTALLED WITHIN THE FDOT RIGHT-OF-WAY AND PROPOSED DRIVEWAY CONNECTION SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX #706-001.
- ALL EXCAVATIONS WITHIN TEN (10) FEET OF THE TRAVEL LANES AND GREATER THAN THREE (3) INCHES DEEP MUST BE FILLED IN OR HAVE A SHOULDER TREATMENT PLACED AT THE DROP-OFF PER INDEX #102-600 OF FDOT STANDARDS PLANS INDEXES AT THE END OF THE WORKDAY.
- CONTRACTOR SHALL CONTACT FDOT TWO WEEKS IN ADVANCE AND SET UP A PRE-CONSTRUCTION MEETING PRIOR TO STARTING ANY WORK IN FDOT RIGHT OF WAY.
- ALL TRAFFIC CONTROL DEVICES MUST BE IN PLACE BEFORE WORK CAN START.
- MAINTENANCE OF TRAFFIC TO BE SUPERVISED BY A FDOT CERTIFIED WORK TRAFFIC SUPERVISOR.
- IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE TO FDOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
- PERMITTEE SHALL NOT BEGIN THE WORK WITHIN THE FDOT RIGHT-OF-WAY UNTIL A FDOT INSPECTOR IS PRESENT AT THE JOB SITE AND AGREES THAT PROPER PREPARATIONS HAVE BEEN MADE.
- SOD ALL UNPAVED AREAS WITHIN FDOT RIGHT OF WAY THAT ARE DISTURBED BY CONSTRUCTION PER FDOT STANDARDS PLANS INDEX #570-010.
- ALL SODDING AREAS WITHIN THE FDOT ROW SHALL BE MAINTAINED BY WATERING AND GROWING TO BE ACCEPTABLE BY THE FDOT. ALL DEAD SOD IS TO BE REMOVED AND REPLACED FOR FDOT ACCEPTANCE.
- ALL AFFECTED SIDEWALKS, RAMPS, AND CROSSWALKS WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- ENGINEER'S CERTIFICATIONS TOGETHER WITH AS-BUILT PLANS ARE REQUIRED TO BE SUBMITTED WITHIN 30 DAYS OF COMPLETION WORK WITHIN FDOT RIGHT-OF-WAY.
- PERMITTEE SHALL NOT COMMENCE USE OF CONNECTION PRIOR TO FINAL INSPECTION AND FINAL ACCEPTANCE BY DEPARTMENT. FAILURE TO COMPLY WITH PERMIT CONDITION MAY RESULT IN REVOCATION OF THE PERMIT AND CLOSURE OF DRIVEWAY PER FL RULE CHAPTER 14-96.
- FDOT ROW GRADE SHALL NOT BE CHANGED.
- NO DUMPERS, PORTABLE TOILETS, CARS/TRUCKS TO BE PARKED WITHIN THE FDOT RIGHT OF WAY DURING THE CONSTRUCTION.
- THE PERMITTEE SHALL NOT DISCHARGE ANY UNPERMITTED UNTREATED WATER BEFORE, DURING, OR AFTER CONSTRUCTION WITHIN THE DEPARTMENT'S RIGHT-OF-WAY OR EASEMENT.

**KEYNOTE LEGEND**

- PROP. 24" STOP BAR PER LATEST FDOT INDEX 711-001
- PROP. 2.6" DOUBLE YELLOW STRIPING PER LATEST FDOT INDEX 711-001
- PROP. RAISED PAVEMENT MARKING PER LATEST FDOT INDEX 706-001
- PROP. WHITE DIRECTIONAL TRAFFIC ARROWS PER LATEST FDOT INDEX 711-001
- PROP. SINGLE 4" YELLOW SOLID LINE PER LATEST FDOT INDEX 711-001
- PROP. PEDESTRIAN CROSSWALK STRIPING
- PROP. 4" THICK CONCRETE SIDEWALK MIN. 3000 PSI. CONCRETE WITH 12" STABILIZED COMPACTED SUBGRADE PER FDOT SPECIFICATION 522.
- PROP. 5" ACCESSIBLE PARKING STRIPING
- PROP. WHEEL STOP (TYP.)
- PROP. TYPE "D" CURB
- PROP. ENTRANCE / EXIT DOOR (REF. TO ARCH. PLANS) TBD
- PROP. LANDSCAPE (REF. TO LANDSCAPE PLANS)
- PROP. DRIVEWAY PER LATEST FDOT STANDARDS INDEX 522-003
- EXIST. POWER POLE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION
- PROP. BICYCLE RACK (REF. TO ARCH. PLANS)
- PROP. TYPE K-4 BOLLARDS (TOTAL 6)
- PROP. SLIDING GATE, GATE OPEN FROM LANDSCAPE AREA (UNDER SEPARATE PERMIT) (REF. TO ARCH. PLANS)
- PROP. 6" HIGH OPAQUE CHAIN LINK FENCE (UNDER SEPARATE PERMIT) (REF. TO ARCH. PLANS)
- PROP. 6" HIGH ORNAMENTAL FENCE (UNDER SEPARATE PERMIT) (REF. TO ARCH. PLANS)
- PROP. 4" PAVED SHOULDER
- PROP. SEWER MANHOLE
- PROP. WATER METER
- PROP. WETLAND PROTECTION FENCE
- PROP. DETECTABLE WARNINGS PER FDOT INDEX 522-002
- PROP. 6" WHITE LINE PAVEMENT MARKINGS PER FDOT INDEX 711-001
- PROP. PEDESTRIAN CROSSWALK STRIPING FDOT INDEX 711-001

**SITE SYMBOLS /LEGEND**

- (S) STOP SIGN (R1-1)
- (HC) HANDICAP PARKING SIGN
- (DN) DO NOT ENTER (R5-1)
- (PX) PEDESTRIAN CROSSING SIGN
- (RO) RIGHT TURN ONLY SIGN
- (OW) ONE WAY SIGN (R6-1R)
- PROPOSED PARKING SPACE COUNT
- ACCESSIBLE PARKING SPACE
- PROPOSED SOLID DIRECTIONAL ARROW
- PROP. 6" HIGH CHAIN LINK FENCE (UNDER SEPARATE PERMIT)
- PROP. 6" HIGH ORNAMENTAL FENCE (UNDER SEPARATE PERMIT)

**HATCH LEGEND**

- PROPOSED 6" CONCRETE SIDEWALK (PUBLIC) PER LATEST FDOT INDEX 522-001
- PROPOSED CONCRETE SIDEWALK
- PROPOSED GRASS (REFER TO LANDSCAPE PLANS FOR DETAILS)
- PROPOSED PERVIOUS PAVEMENT
- PROPOSED CONCRETE LOADING AREA
- PROPOSED ASPHALT OVERLAY (PUBLIC)

**HEAVY LOADING (USE)**

- LOADING AREAS**  
N.T.S.
- ASPHALT SURFACE: FDOT ASPHALT 3" TYPE SP STRUCTURAL COURSE TRAFFIC C (2 LIFTS OF 1.5")
  - OPTIONAL BASE GROUP 9 (1" OF LIME ROCK-LBR 100: 98% MAX. DENSITY, 2 LIFTS 2")
  - 12" TYPE B STABILIZATION-LBR 400: COMPACTION PER STD. SPEC. 160.

**ASPHALT PAVEMENT DETAIL - PRIVATE**

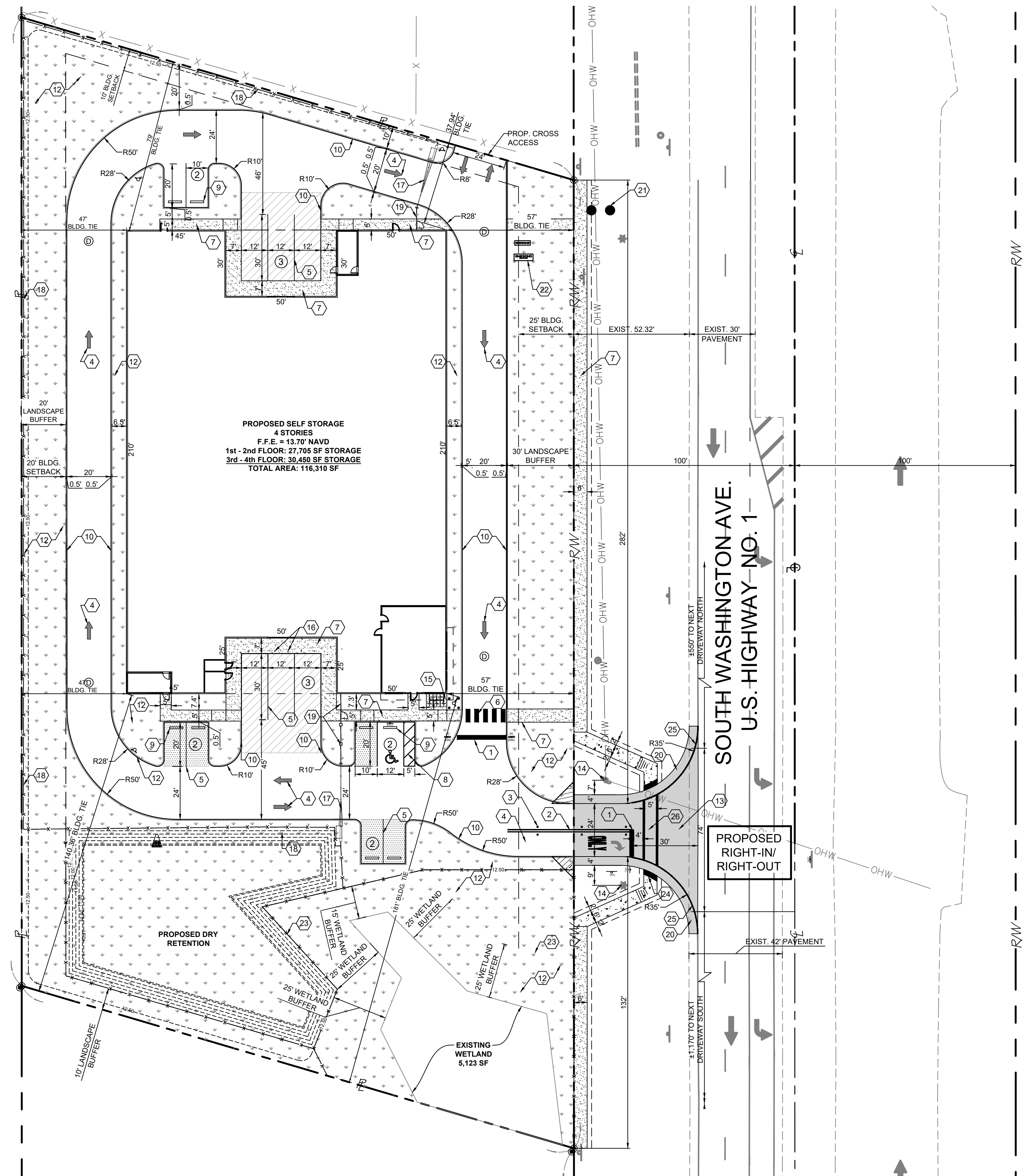
N.T.S.

**FDOT SIDEWALK DETAIL**

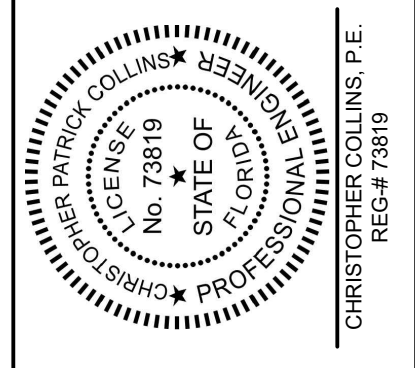
N.T.S.

NOTE: FENCES AND WALLS ARE NOT INCLUDED IN PERMIT APPLICATION.

FLORIDA EAST COAST RAILROAD TRACKS



666 N.E. 125th STREET, SUITE 247  
NORTH MIAMI, FL 33161  
Phone: 305.720.2079  
C.O.A. 33221



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Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronics copies.

Revision	Date	Comment

Designed by: C.P.C.  
Drawn by: S.G.C.  
Checked by: C.P.C.  
Approved by: C.P.C.  
Scale: 1"=30'  
Date: 08/07/2024  
Job No.: E006  
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Plans for

**TITUSVILLE STORAGE**  
SOUTH WASHINGTON AVENUE  
TITUSVILLE, FLORIDA

**SITE PLAN**

Sheet No. **C-5.0**



# Titusville Self-Storage Facility Parking Study

City of Titusville, Florida



Prepared for  
**MRMD MANAGEMENT / GG EQUITY**

Prepared by  
**THOMAS A. HALL, INC.**

August 14, 2024

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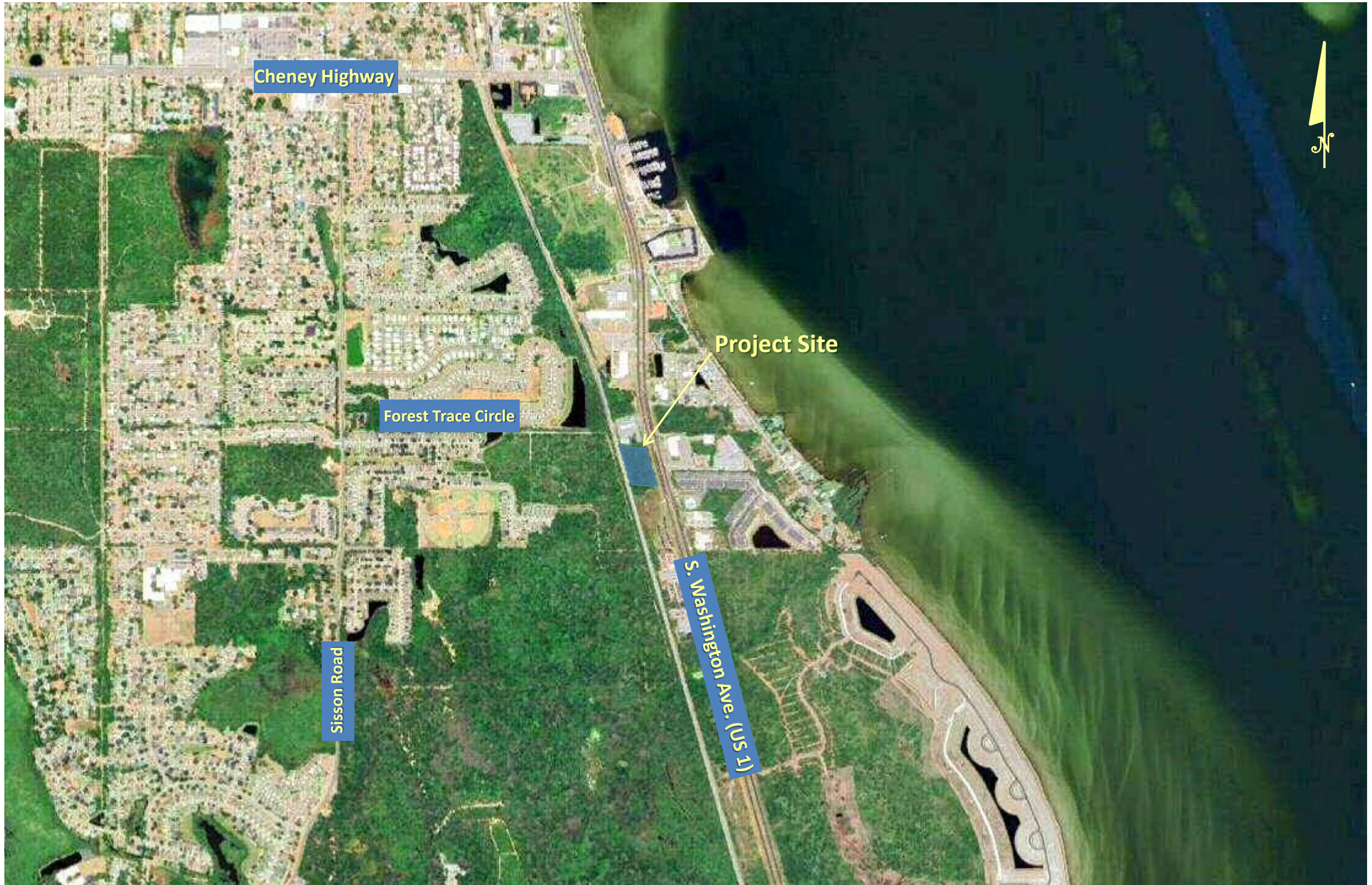
## **Introduction**

The Titusville Self-Storage Facility is a new, four-story, 120,820-square-foot mini-storage facility containing 971 storage units proposed for development in the City of Titusville, Florida. The project is to be located on the west side of South Washington Avenue (US 1). The project's site plan may be found in **Appendix A – Site Plan**.

Access to the project will be by means of a single, two-lane, right-in/right-out driveway connection to South Washington Avenue in the southeast corner of the property. Twelve parking spaces and six loading bays are proposed to serve the facility.

The purpose of this study is to determine the number of parking spaces required for the mini-warehouse development. In accordance with City staff recommendations, we have completed the following review of relevant resources.

**Figure 1 – Site Location**, shows the location of the proposed development.



Thomas A. Hall, Inc.

**Figure 1 – Project Site Location**  
**Titusville Self-Storage Facility**  
**City of Titusville**

## Parking Analysis

Sec. 28-214 of the City of Titusville’s Land Development Regulations (LDR) - Mini-warehouse D(1)g states: “Shall provide parking at a rate of one (1) space for each twenty-five (25) storage cubicles and two (2) spaces for the manager's quarters.”

Based upon this requirement of the LDR, the proposed self-storage facility will need 41 parking spaces. However, Sec. 11.6 of the City’s Technical Manual, Supplement 7, Update 1, allows a reduction in the number of parking spots if the project meets any of the Low Impact Development requirements. This project does meet those requirements, but, as noted in Sec. 11.7.2, “any parking reduction must be determined by a parking analysis using Institute of Transportation Engineer’s (ITE) parking generation rates, other data and the Urban Land Institute.”

Using the ITE Parking Generation manual, 6<sup>th</sup> Edition web-based tool, it is possible to determine the appropriate ITE land use code (151-Mini Warehouse) and calculate the parking demand. There are three variables that provide a means of estimating the parking demand. Those are: building square footage, the number of proposed storage units, and the number of employees. As noted previously, the building is proposed to be 120,820 square feet in size and it is planned to contain 971 storage units.

The description of the mini-warehouse land use provided by ITE states that, “*A mini-warehouse is a building or series of buildings in which a number of storage units or vaults are rented for the storage of goods. They are typically referred to as “self-storage” facilities. Each unit is physically separated from other units, and access is usually provided through an overhead door or other common access point.*”

**Appendix B – Parking Generation Graphs** shows both weekday and Saturday parking demand based on the building square footage and the number of storage units. **Table 1 – Parking Demand Analysis Results** displays the findings from the graphs.

**Table 1**  
**Parking Demand Analysis Results**  
**Titusville Self-Storage Facility**

Variable	Land Use	ITE Land Use Code	Weekday Parking Demand (Fitted Curve Equation)	Weekday Parking Demand (Average Rate)	Saturday Parking Demand (Fitted Curve Equation)	Saturday Parking Demand (Average Rate)
1000 Sq. Ft.	Mini-Warehouse	151	10	12	N/A	11
Storage Units	Mini-Warehouse	151	12	12	N/A	9

As Table 1 shows, the highest parking demand, regardless of the study variable, is 12 parking spaces. Comparing this parking demand to the provided parking reveals that the parking demand will be met by the proposed 12 parking spaces and six loading bays. The loading bays function, of course, as parking spaces for the vehicles parked in them.

Therefore, parking for a total of 18 vehicles is to be provided at the proposed self-storage facility. This is a more than sufficient number of parking spaces, based upon ITE Parking Generation rates.

## Alternative Parking Analyses

In spite of the fact that ITE Land Use Code 151 is specifically provided for the kind of mini-warehouse self-storage facility that is proposed, the City of Titusville’s Community Development Engineer suggested that this parking analysis also include consideration of an office/warehouse combination and an office/industrial combination. These more traditional warehouse operations generate parking demands similar to the City of Titusville’s LDR requirements.

Graphs for the office, warehouse, and industrial parking generation may be found in Appendix B. **Table 2 – Alternative Parking Generation** shows the results of these parking generation analyses. Note that the site plan for the proposed self-storage facility shows the office component of the project to be approximately 1,450 square feet in size. The remainder of the proposed building is 119,370 square feet in size (120,820 s.f. – 1,450 s.f. = 119,370 s.f.).

**Table 2**  
**Alternative Parking Generation**  
**Titusville Self-Storage Facility**

Variable	Land Use	ITE Land Use Code	Land Use Square Footage	Weekday Parking Demand (Fitted Curve Equation)	Weekday Parking Demand (Average Rate)	Saturday Parking Demand (Fitted Curve Equation)	Saturday Parking Demand (Average Rate)
1,000 Sq. Ft.	Warehousing	150	19,370	41	44	N/A	N/A
1,000 Sq. Ft.	Office	310	1,40	3	3	N/A	N/A
Total				44	47	N/A	N/A
1,000 Sq. Ft.	Light Industrial	110	119,370	56	80	N/A	N/A
1,000 Sq. Ft.	Office	310	1,450	3	3	N/A	N/A
Total				59	83	N/A	N/A

As Table 2 shows, standard warehouses and light industrial sites generate a much higher parking demand than do self-storage facilities. However, it remains true that the proposed development is expected to operate in the manner described for ITE Land Use Code 151 – Mini-Warehouse and require 12 parking spaces.

## **Conclusions**

Based on these findings, the total future parking demand expected at the proposed Titusville Self-Storage facility (12 parking spaces on a weekday or Saturday) will be satisfied by the 12 parking spaces and six (6) immediately adjacent loading zones proposed as a part of the project site plan.

## **Appendix A – Site Plan**

**SITE DATA**

- PARCEL ID NUMBER:** 22-35-26-00-504.1
- EXISTING SITE AREA/PROPERTY AREA:** 2.52AC (109,648 SF)
- LAND USE:**  
EXISTING: VACANT INDUSTRIAL LAND  
PROPOSED: MINI-WAREHOUSE
- ZONING:**  
EXISTING/PROPOSED: M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 50'

**6. PROPOSED: SELF STORAGE**

**7. BUILDING SETBACKS:**

	MINIMUM	PROP. BLDG. SETBACK
• FRONT (SOUTH WASHINGTON AVENUE)	25'	55'
• SIDE (NORTH)	10'	37.23' MIN.
• SIDE (SOUTH)	10'	139.63' MIN.
• REAR (WEST)	20'	45'

**7. LANDSCAPE SETBACKS:**

	MINIMUM	PROP. YARD SETBACK
• FRONT (SOUTH WASHINGTON AVENUE)	25'	30'
• SIDE (NORTH)	10'	10'
• SIDE (SOUTH)	10'	66.5'
• REAR (WEST)	20'	20'

**8. LOT COVERAGE:**

MAXIMUM LOT COVERAGE 70% OF SITE: (0.70 \* 109,648 SF) = 76,754 SF  
 PROPOSED LOT COVERAGE 26% OF SITE: (28,910 SF)

**9. PARKING REQUIREMENTS:**

SELF STORAGE:	CRITERIA:	REQUIRED:
971 UNITS	1 PER 25 UNITS	39
	MANAGER'S OFFICE	2 SPACES

TOTAL SPACES REQUIRED: 41 SPACES  
 TOTAL SPACES PROVIDED: 18 SPACES\*\* (including 1 ADA Space)

\*\* PLEASE REFER TO PARKING ANALYSIS SUPPORTING REDUCED REQUIREMENTS.

**10. OPEN SPACE**

PROPOSED OPEN SPACE: 51,173 SF (1.17 AC) 47%

**LEGAL DESCRIPTION:**

THE LAND IS DESCRIBED AS FOLLOWS:

ALL OF GOVERNMENT LOT 3, SECTION 26, TOWNSHIP 22 SOUTH, RANGE 35 EAST, LYING WEST OF U.S.A. HIGHWAY NO. 1 AS RELOCATED, LESS AND EXCEPT THE RIGHT-OF-WAY OF THE FLORIDA EAST COAST RAILROAD, SAID RIGHT OF WAY BEING DESCRIBED AS PARCEL "4" IN DEED FROM S. JAMES COHEN, AS TRUSTEE, TO MONNI WEISBERGER, AS TRUSTEE, AS RECORDED IN OFFICIAL RECORDS BOOK 735, PAGE 80, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, AND ALSO LESS AND EXCEPT LAND AS DESCRIBED IN DEED FROM MONNI WEISBERGER, INDIVIDUALLY AND AS TRUSTEE, AND SHIRLEY WEISBERGER, HIS WIFE, TO AIR RANCH REALTY, INC., AS RECORDED IN OFFICIAL RECORDS BOOK 1084, PAGE 141, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, AND ALSO LESS AND EXCEPT THE FOLLOWING:

COMMENCE ON THE SOUTH LINE OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 35 EAST, BREVARD COUNTY, AT ITS INTERSECTION WITH THE WESTERLY RIGHT OF WAY LINE OF RELOCATED U.S. HIGHWAY NO. 1; THENCE RUN NORTH 15°51'12" WEST, 788.35 FEET ALONG THE WESTERLY RIGHT OF WAY OF U.S. HIGHWAY NO. 1; THENCE NORTH 89°25'12" WEST, 260.65 FEET; THENCE SOUTH 15°51'12" EAST, 788.35 FEET ALONG THE EASTERLY RIGHT OF WAY LINE OF RELOCATED F.E.C. RAILWAY; THENCE SOUTH 89°25'12" EAST, 260.65 FEET ALONG THE SOUTH LINE OF SAID SECTION 26, TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT:

A PORTION OF LANDS DESCRIBED IN O.R. BOOK 3183, PAGES 706-707, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, LYING IN SECTIONS 26 AND 27, TOWNSHIP 22 SOUTH, RANGE 35 EAST, OF SAID BREVARD COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 27, SAID POINT BEING THE POINT-OF-BEGINNING; THENCE NORTH 89°39'09" WEST ALONG THE SOUTH LINE OF SAID SECTION 27, A DISTANCE OF 927.58 FEET TO THE EAST LINE OF LANDS DESCRIBED IN O.R. BOOK 1328, PAGE 286, OF THE SAID PUBLIC RECORDS OF BREVARD COUNTY; THENCE NORTH 00°20'51" EAST ALONG SAID EAST LINE, A DISTANCE OF 660.00 FEET TO THE NORTH LINE OF LANDS DESCRIBED IN O.R. BOOK 1328, PAGE 328; THENCE NORTH 89°39'09" WEST ALONG THE NORTH LINE OF LANDS DESCRIBED IN O.R. BOOK 1328, PAGE 286 AND THE NORTH LINE OF LANDS DESCRIBED IN DEED BOOK 89, PAGE 216, DEED BOOK 79, PAGE 68 AND O.R. BOOK 1033, PAGE 280, OF THE SAID PUBLIC RECORDS OF BREVARD COUNTY, A DISTANCE OF 1,262.74 FEET TO THE WEST LINE OF LANDS DESCRIBED IN O.R. BOOK 1033, PAGE 280; THENCE SOUTH 00°20'51" WEST ALONG SAID WEST LINE, A DISTANCE OF 635.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF LITTLE LEAGUE LANE; THENCE NORTH 89°39'09" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 440.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SISSON ROAD; THENCE NORTH 00°01'14" EAST ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 1,296.16 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF A 10 FOOT ROAD RIGHT-OF-WAY PER TITUSVILLE FRUIT AND FARMS LANDS CO., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 29, OF THE SAID PUBLIC RECORDS OF BREVARD COUNTY; THENCE SOUTH 89°39'10" EAST ALONG THE SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 2,622.17 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 27; THENCE SOUTH 89°30'31" EAST LEAVING SAID EAST LINE, A DISTANCE OF 325.12 FEET TO THE WEST RIGHT-OF-WAY LINE OF FLORIDA EAST COAST RAILROAD; THENCE SOUTH 15°57'05" EAST ALONG THE SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 1,377.01 FEET TO THE SOUTH LINE OF SAID SECTION 26; THENCE NORTH 89°32'34" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 695.10 FEET TO THE POINT-OF-BEGINNING.

**KEYNOTE LEGEND**

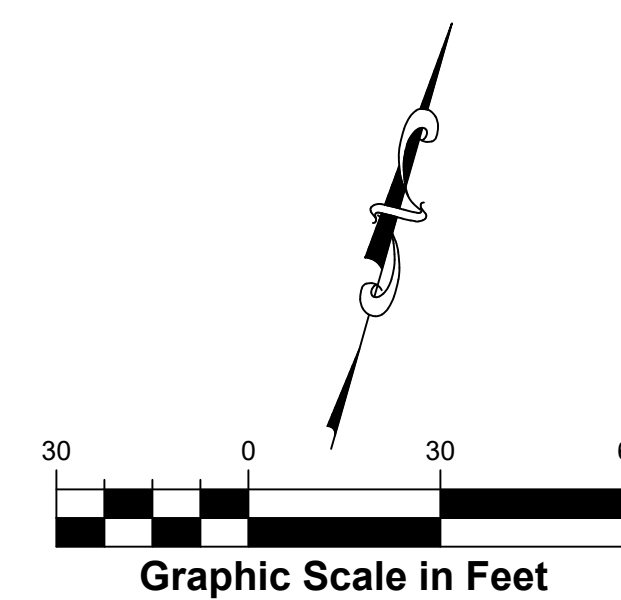
- PROP. 24" STOP BAR
- PROP. 2.6" DOUBLE YELLOW STRIPING
- PROP. PAVEMENT MARKING (TYP.)
- PROP. WHITE DIRECTIONAL TRAFFIC ARROWS
- PROP. SINGLE 4" YELLOW SOLID LINE
- PROP. PEDESTRIAN CROSSWALK STRIPING
- PROP. 4" THICK CONCRETE SIDEWALK
- PROP. 5" ACCESSIBLE PARKING STRIPING
- PROP. WHEEL STOP (TYP.)
- PROP. TYPE "D" CURB
- PROP. ENTRANCE / EXIT DOOR (REF. TO ARCH. PLANS) TBD
- PROP. LANDSCAPE (REF. TO LANDSCAPE PLANS)
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- PROP. BICYCLE RACK (REF. TO ARCH. PLANS)
- PROP. TYPE K-4 BOLLARDS (TOTAL 6)
- PROP. SLIDING GATE, GATE OPEN FROM LANDSCAPE AREA (UNDER SEPARATE PERMIT) (REF. TO ARCH. PLANS)
- PROP. 6" HIGH OPAQUE CHAIN LINK FENCE (UNDER SEPARATE PERMIT) (REF. TO ARCH. PLANS)
- PROP. 6" HIGH ORNAMENTAL FENCE (UNDER SEPARATE PERMIT) (REF. TO ARCH. PLANS)
- PROP. 4" PAVED SHOULDER

**SITE SYMBOLS /LEGEND**

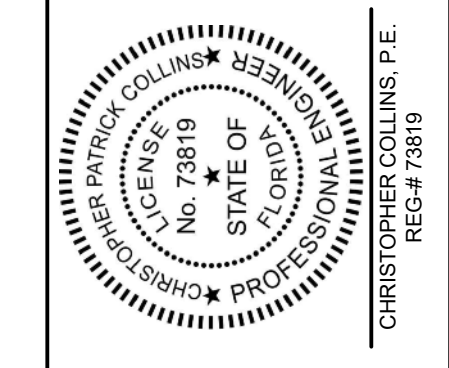
- (S) STOP SIGN (R1-1)
- (HC) HANDICAP PARKING SIGN
- (DN) DO NOT ENTER (R5-1)
- PROPOSED PARKING SPACE COUNT
- ACCESSIBLE PARKING SPACE
- PROPOSED SOLID DIRECTIONAL ARROW

**HATCH LEGEND**

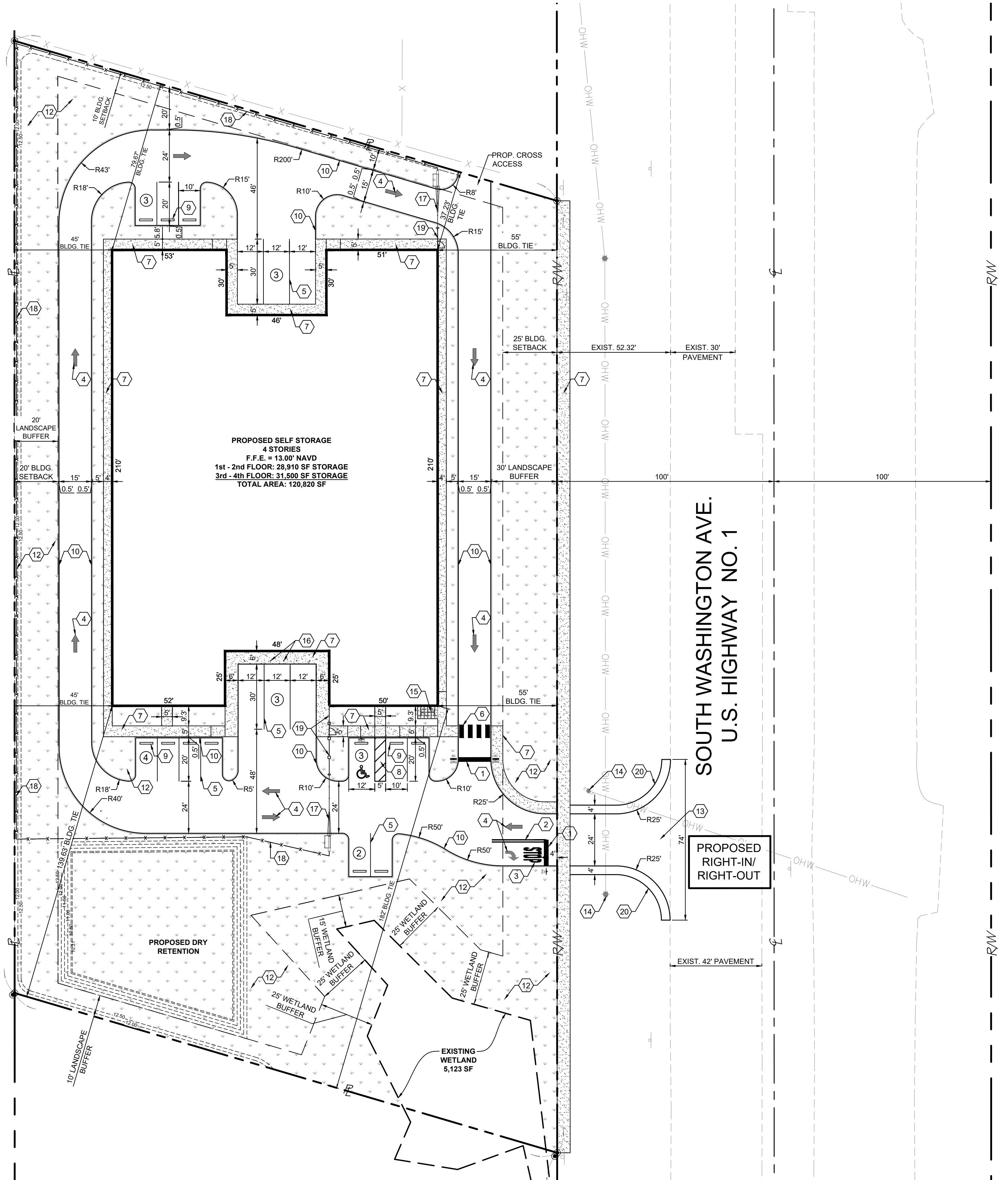
- PROPOSED CONCRETE SIDEWALK
- PROPOSED GRASS (REFER TO LANDSCAPE PLANS FOR DETAILS)
- PROP. 6" HIGH CHAIN LINK FENCE (UNDER SEPARATE PERMIT)
- PROP. 6" HIGH ORNAMENTAL FENCE (UNDER SEPARATE PERMIT)



666 N.E. 125th STREET,  
 SUITE 247  
 NORTH MIAMI, FL 33161  
 Phone: 305.720.2079  
 C.O.A. 33221



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Revision	Date
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Designed by: C.P.C.  
 Drawn by: A.T.S.  
 Checked by: C.P.C.  
 Approved by: C.P.C.  
 Scale: 1"=30'  
 Date: 08/07/2024  
 Job No.: E006

Plans for  
**TITUSVILLE STORAGE**  
 SOUTH WASHINGTON AVENUE  
 TITUSVILLE, FLORIDA

**SITE PLAN**

Sheet No.  
**C-5.0**

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!

## **Appendix B – Parking Generation Graphs**

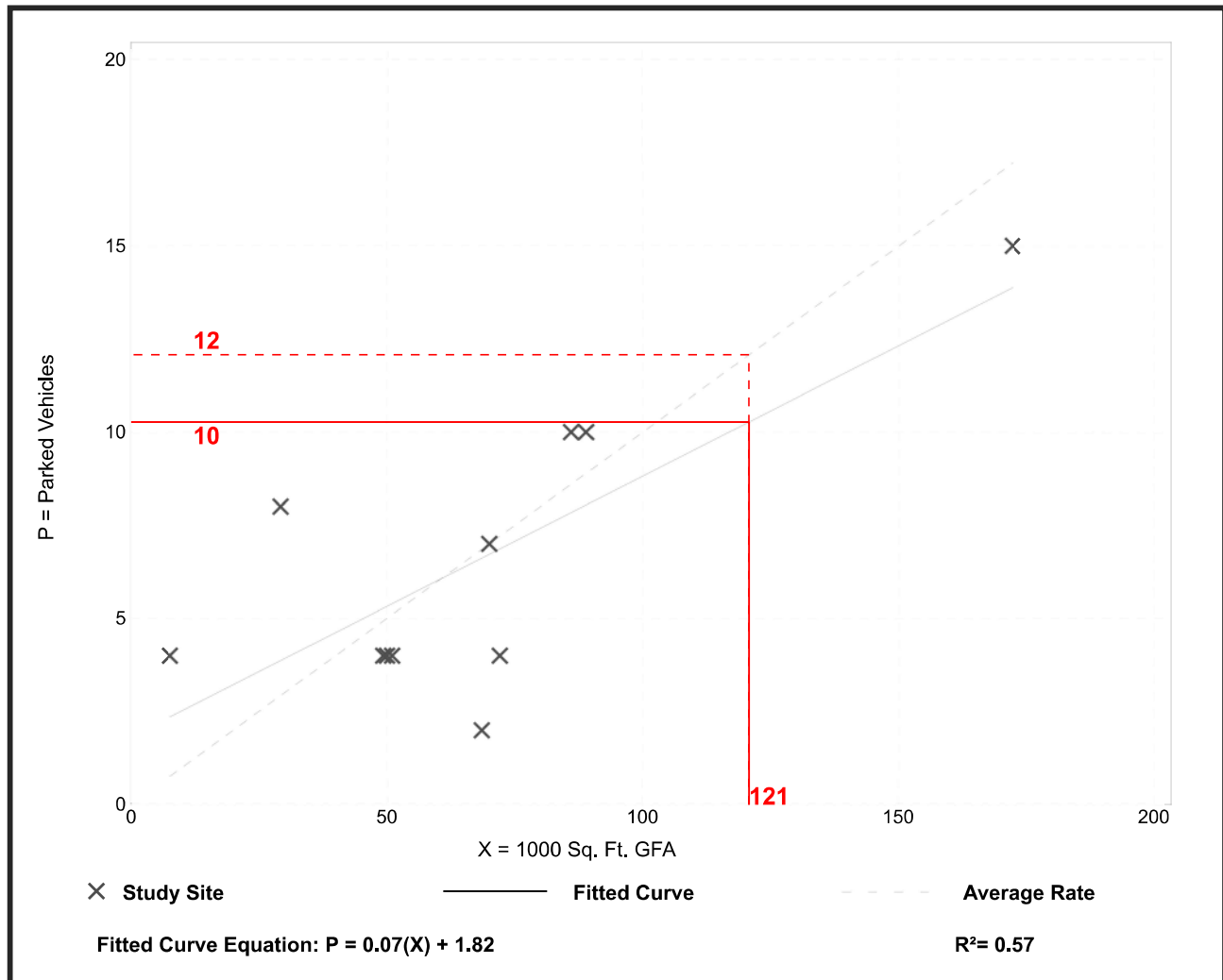
# Mini-Warehouse (151)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**  
**On a: Weekday (Monday - Friday)**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 11  
 Avg. 1000 Sq. Ft. GFA: 68

## Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.10	0.03 - 0.53	0.08 / 0.32	***	0.07 (70%)

## Data Plot and Equation



*Parking Generation Manual, 6th Edition* • Institute of Transportation Engineers



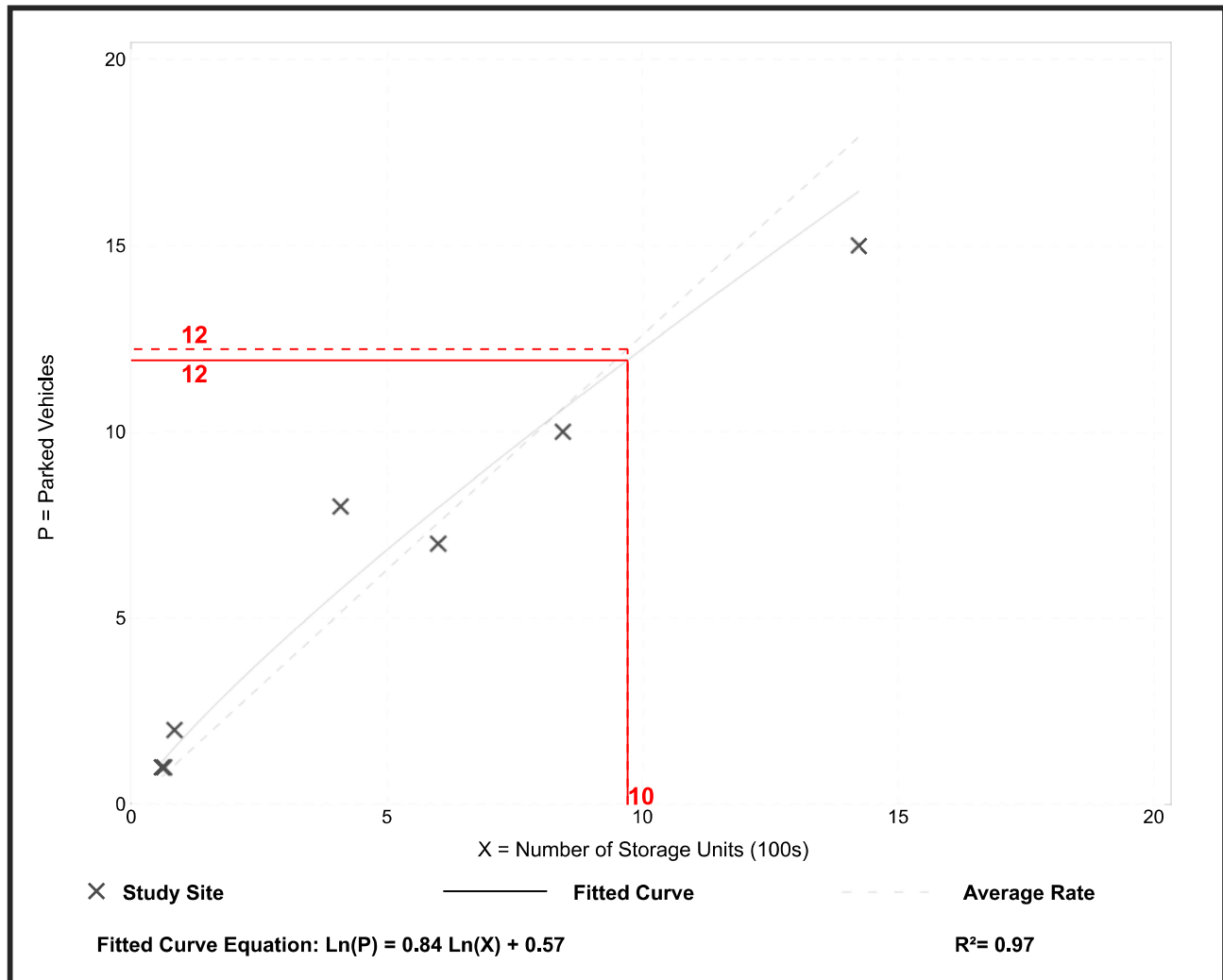
# Mini-Warehouse (151)

**Peak Period Parking Demand vs: Storage Units (100s)**  
**On a: Weekday (Monday - Friday)**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 7  
 Avg. Num. of Storage Units (100s): 4.9

## Peak Period Parking Demand per 100 Storage Units

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.26	1.05 - 2.38	1.18 / 2.30	***	0.36 (29%)

## Data Plot and Equation



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# Mini-Warehouse (151)

**Peak Period Parking Demand vs: Storage Units (100s)**

**On a: Saturday**

**Setting/Location: General Urban/Suburban**

Number of Studies: 2

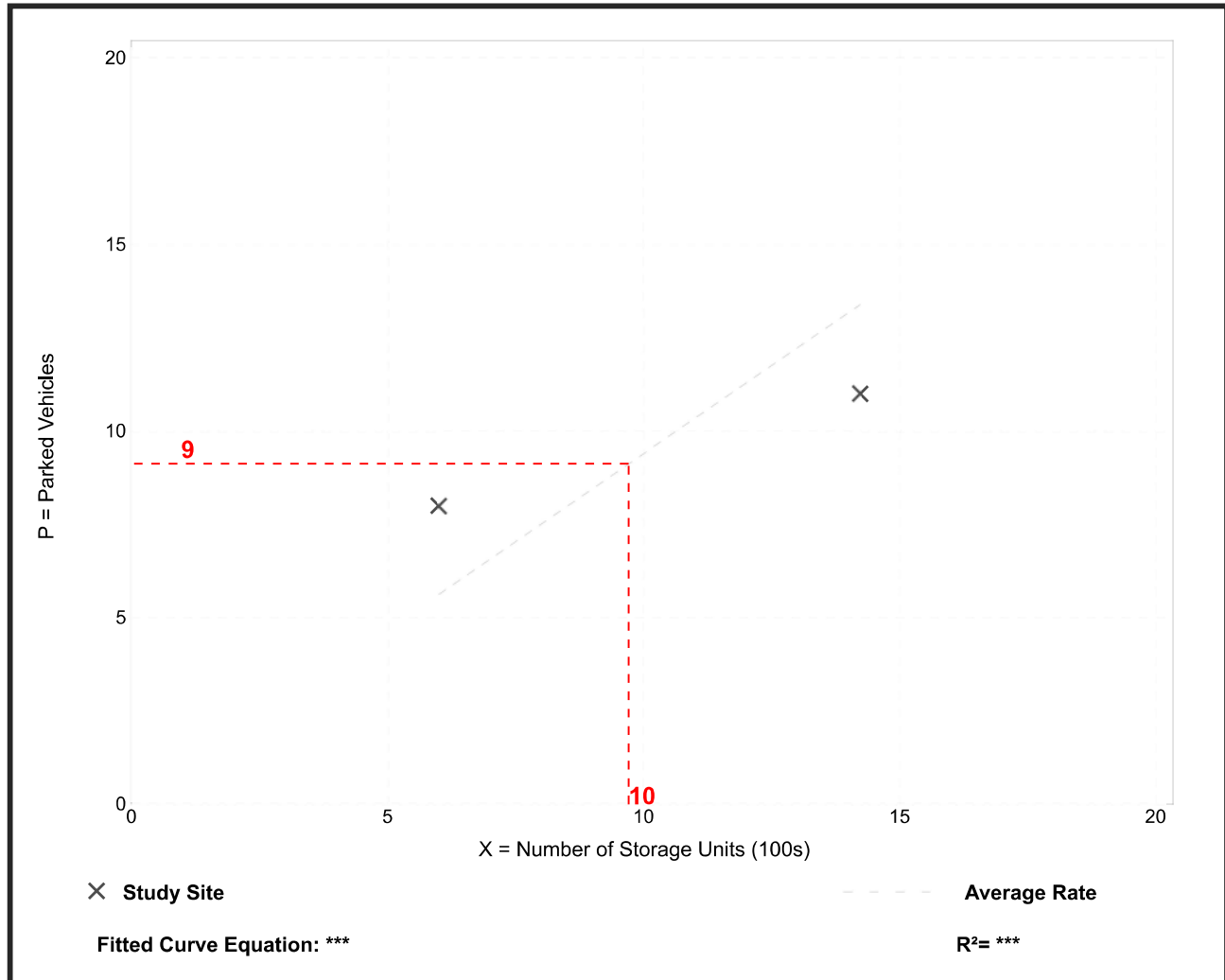
Avg. Num. of Storage Units (100s): 10

## Peak Period Parking Demand per 100 Storage Units

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.94	0.77 - 1.33	*** / ***	***	***

## Data Plot and Equation

*Caution – Small Sample Size*



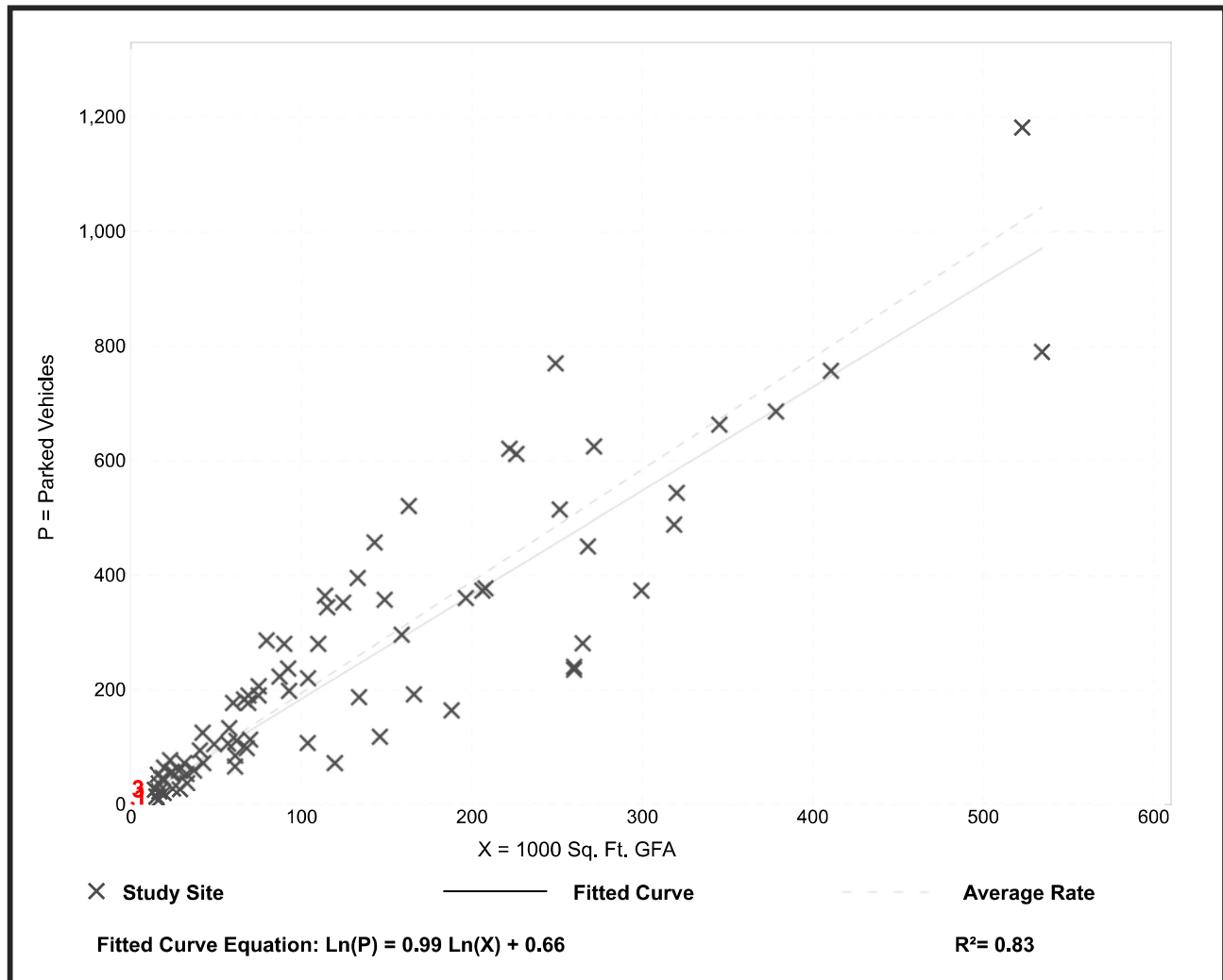
# General Office Building (710)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**  
**On a: Weekday (Monday - Friday)**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 77  
 Avg. 1000 Sq. Ft. GFA: 131

## Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.95	0.50 - 3.60	1.68 / 2.98	1.79 - 2.11	0.70 (36%)

## Data Plot and Equation



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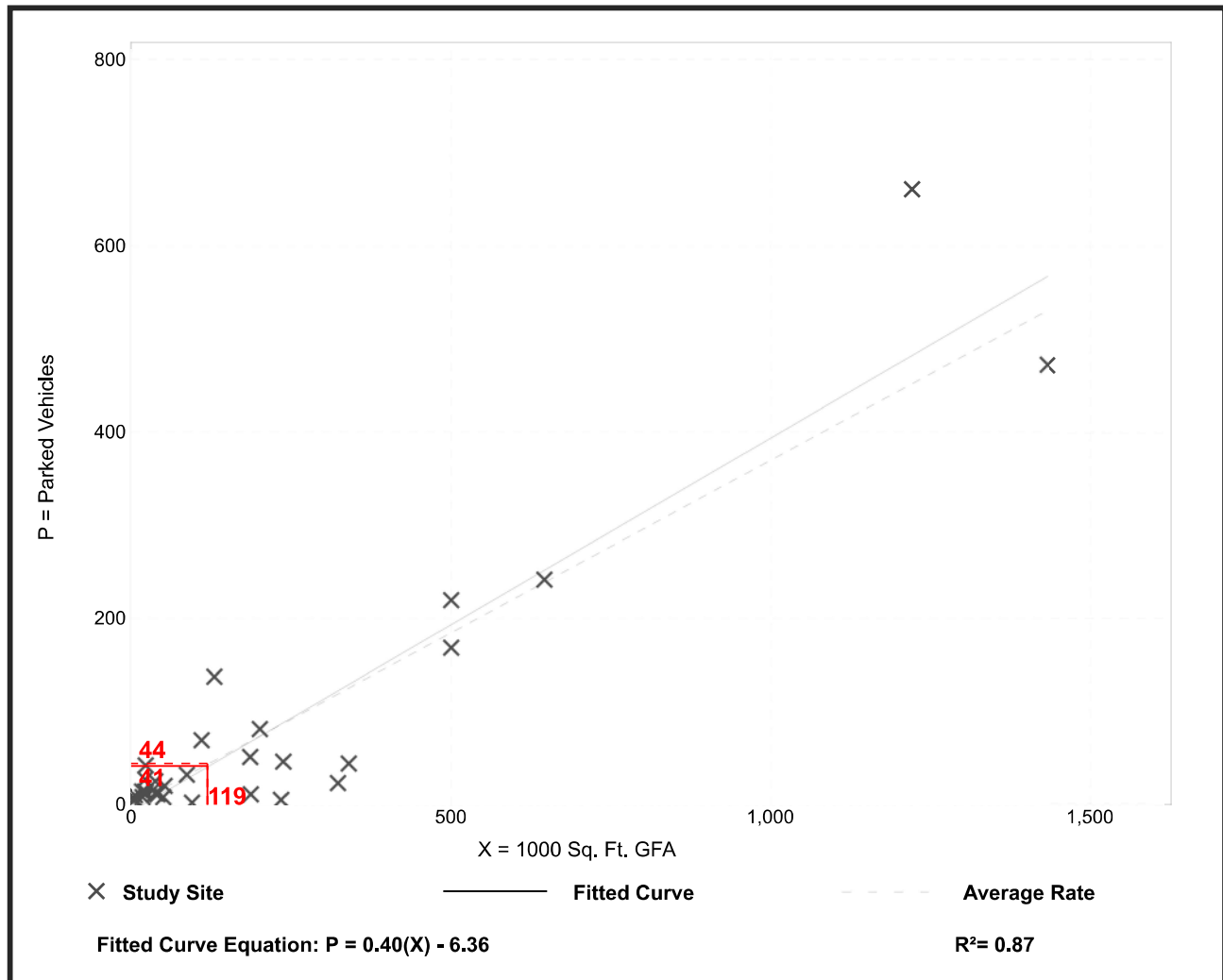
# Warehousing (150)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**  
**On a: Weekday (Monday - Friday)**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 31  
 Avg. 1000 Sq. Ft. GFA: 220

## Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.37	0.03 - 1.96	0.33 / 1.11	0.29 - 0.45	0.22 (59%)

## Data Plot and Equation



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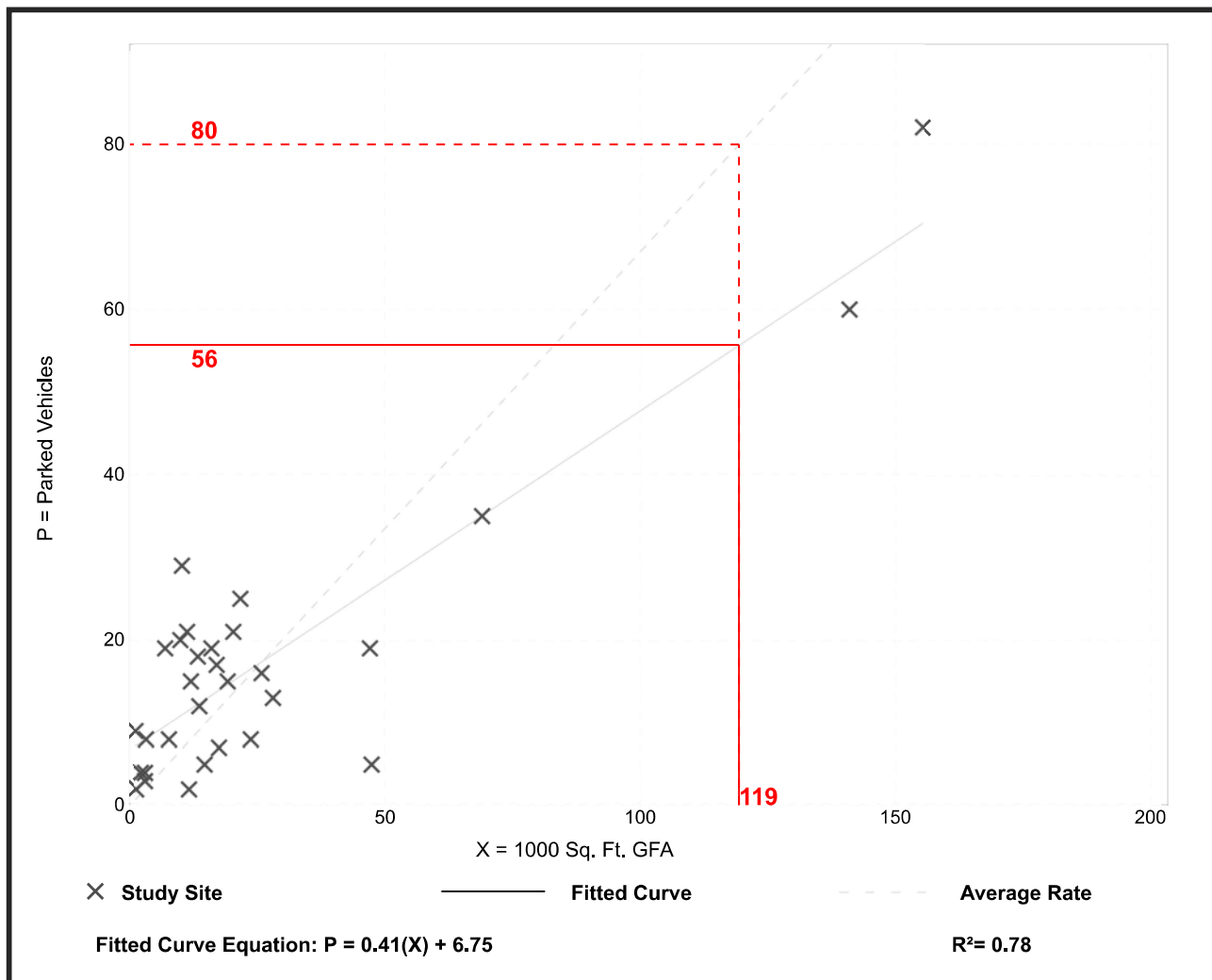
# General Light Industrial (110)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**  
**On a: Weekday (Monday - Friday)**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 30  
 Avg. 1000 Sq. Ft. GFA: 26

## Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.67	0.11 - 7.89	0.55 / 2.18	0.46 - 0.88	0.58 (87%)

## Data Plot and Equation



*Parking Generation Manual, 6th Edition* • Institute of Transportation Engineers

**Sec. 28-214. Mini-warehouse.**

(a) *Districts where permitted.*

RE	RR	R-1A	R-1B	R-1C	R-2	R-3	RMH-1	RMH-2	RHP						
HM	T	NC	CC	RC	OP	M-1	M-2	M-3	PID						
				L		C	C	L							
GU	OR	P	DMU				UMU	SMU	RMU					UV	IRCN
			D	U	M	C			100	200	300	400	500		
					L								L		

(b) *Definition.* "Mini-warehouse:" An enclosed building or buildings having individual compartmentalized units, stalls or lockers, not exceeding five hundred (500) square feet which are to be rented for storage use.

(c) *Standards for permitted uses with limitations.*

- (1) In the Regional Commercial (RC) zoning district, mini-warehouses:
  - a. Access to each storage unit shall be from within an enclosed, air-conditioned building.
  - b. The use shall be limited to dead storage for the general public and no activities such as miscellaneous or garage sales shall be conducted on the premises. The servicing or repair of motor vehicles, boats, trailers, lawn mower and other similar equipment shall not be conducted on the premises.
  - c. The use shall be limited to one (1) on-site office, a maximum one thousand (1,000) square feet. The on-site office shall be an accessory use and may include mailboxes and mailing services.
  - d. Mini-warehouses shall be located within a Regional Commercial zoning district with a minimum property size of two (2) acres.
- (2) In the Highway Industrial Infill (M-3) Downtown Mixed Use - Midtown (DMU-M) and Regional Mixed Use Industrial Park (RMU-500), mini-warehouses shall meet the requirements of subsection (1) above, if located less than 500 feet of residential uses or zoning. Mini-warehouses shall require a conditional use permit if located within 500 feet of residential uses or zoning.

(d) *Standards for conditional uses.* These uses require public hearings.

- (1) In the Light Industrial Services (M-1), and Industrial (M-2), zoning districts, mini-warehouses:
  - a. Shall have a minimum property size of two (2) acres.
  - b. Shall allow City Council the ability to require accommodations for a live-in manager for a mini-warehouse facility.
  - c. Shall keep all storage on the property within enclosed or otherwise secured storage cubicles.
  - d. Shall require the operator of the mini-warehouse facility to provide locks for all units and maintain a master key to all locks.
  - e. Shall be limited to dead storage use for the general public and no activities such as miscellaneous or garage sales shall be conducted on the premises. The servicing or repair of motor vehicles,

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boats, trailers, lawn mowers and other similar equipment shall not be conducted on the premises.

- f. Shall not allow unit size to exceed five hundred (500) square feet.
- g. Shall provide parking at a rate of one (1) space for each twenty-five (25) storage cubicles and two (2) spaces for the manager's quarters.
- h. Shall require a minimum of thirty-five (35) feet provided between warehouse buildings for driveway, parking and fire line [lane] purposes.
- i. Shall require buffers be installed around the perimeter of the project in accordance with Chapter 30, Article III, Division 10 of these regulations.

(Ord. No. 49-2023, § 4, 10-24-23)

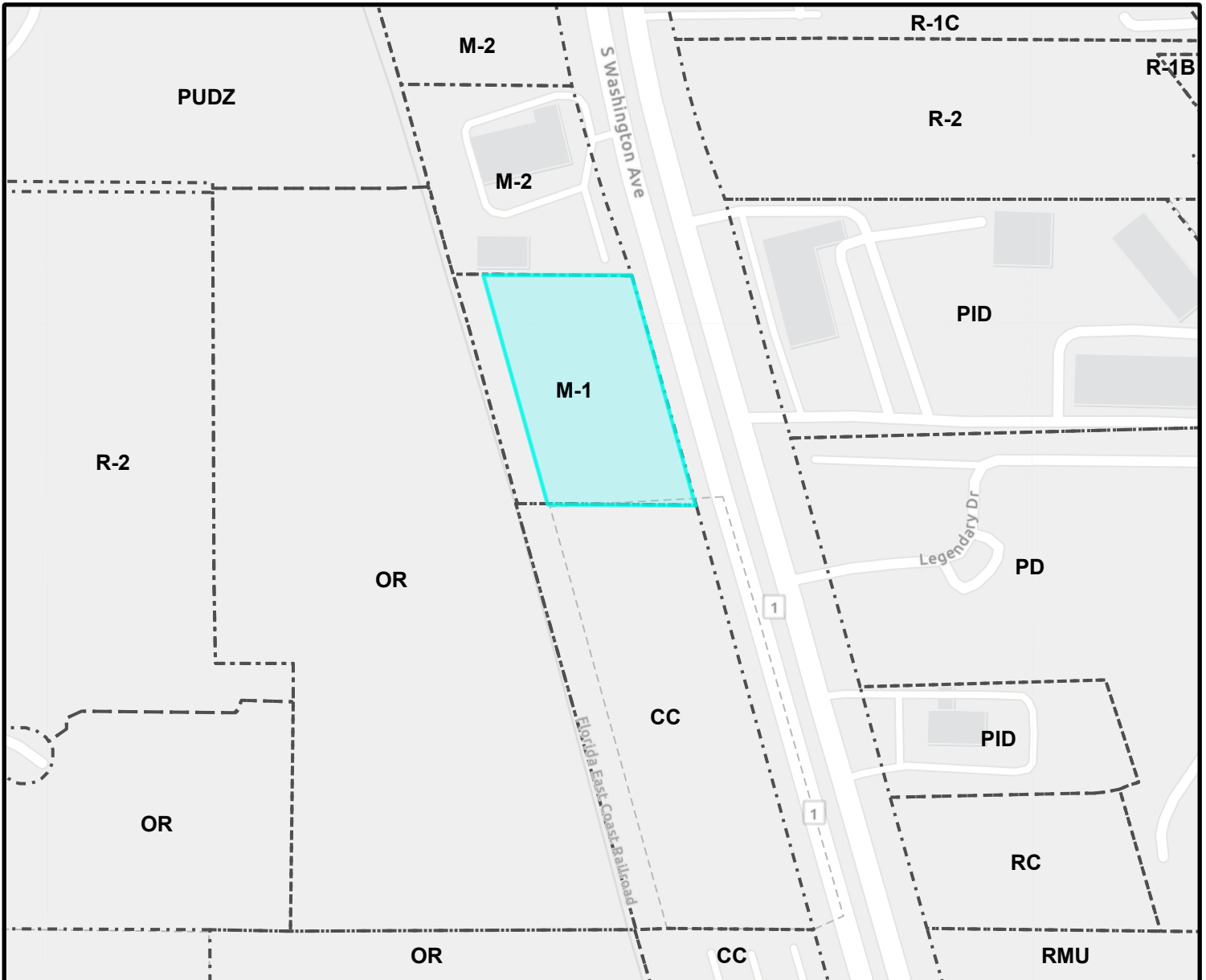


# City of Titusville - General Use Map



Titusville Parcels





# ZONING MAP

## RESIDENTIAL DISTRICTS

- RE** RESIDENTIAL ESTATES
- RR** RURAL RESIDENTIAL
- R-1A** SINGLE FAMILY, LOW DENSITY
- R-1B** SINGLE FAMILY, MEDIUM DENSITY
- R-1C** SINGLE FAMILY, HIGH DENSITY
- R-2** MULTIFAMILY, MEDIUM DENSITY
- R-3** MULTIFAMILY, HIGH DENSITY
- RMH-1** RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
- RMH-2** RESIDENTIAL MANUFACTURED HOUSING PARK

## COMMERCIAL DISTRICTS

- HM** HOSPITAL MEDICAL
- T** TOURIST
- NC** NEIGHBORHOOD COMMERCIAL
- CC** COMMUNITY COMMERCIAL
- RC** REGIONAL COMMERCIAL
- OP** OFFICE PROFESSIONAL

## SPECIAL DISTRICTS

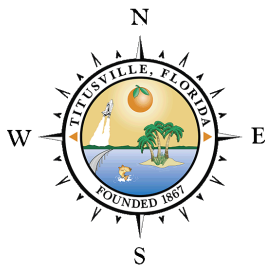
- GU** GENERAL USE
- OR** OPEN SPACE AND RECREATION
- UMU** URBAN MIXED USE
- SMU** SHORELINE MIXED USE
- RHP** RESIDENTIAL HISTORIC PRESERVATION
- RMU** REGIONAL MIXED USE
- PD** PLANNED DEVELOPMENT
- P** PUBLIC
- UV** URBAN VILLAGE
- DMU** DOWNTOWN MIXED USE
- IRC-N** INDIAN RIVER CITY NEIGHBORHOOD RESIDENTIAL
- IRC-C** INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL

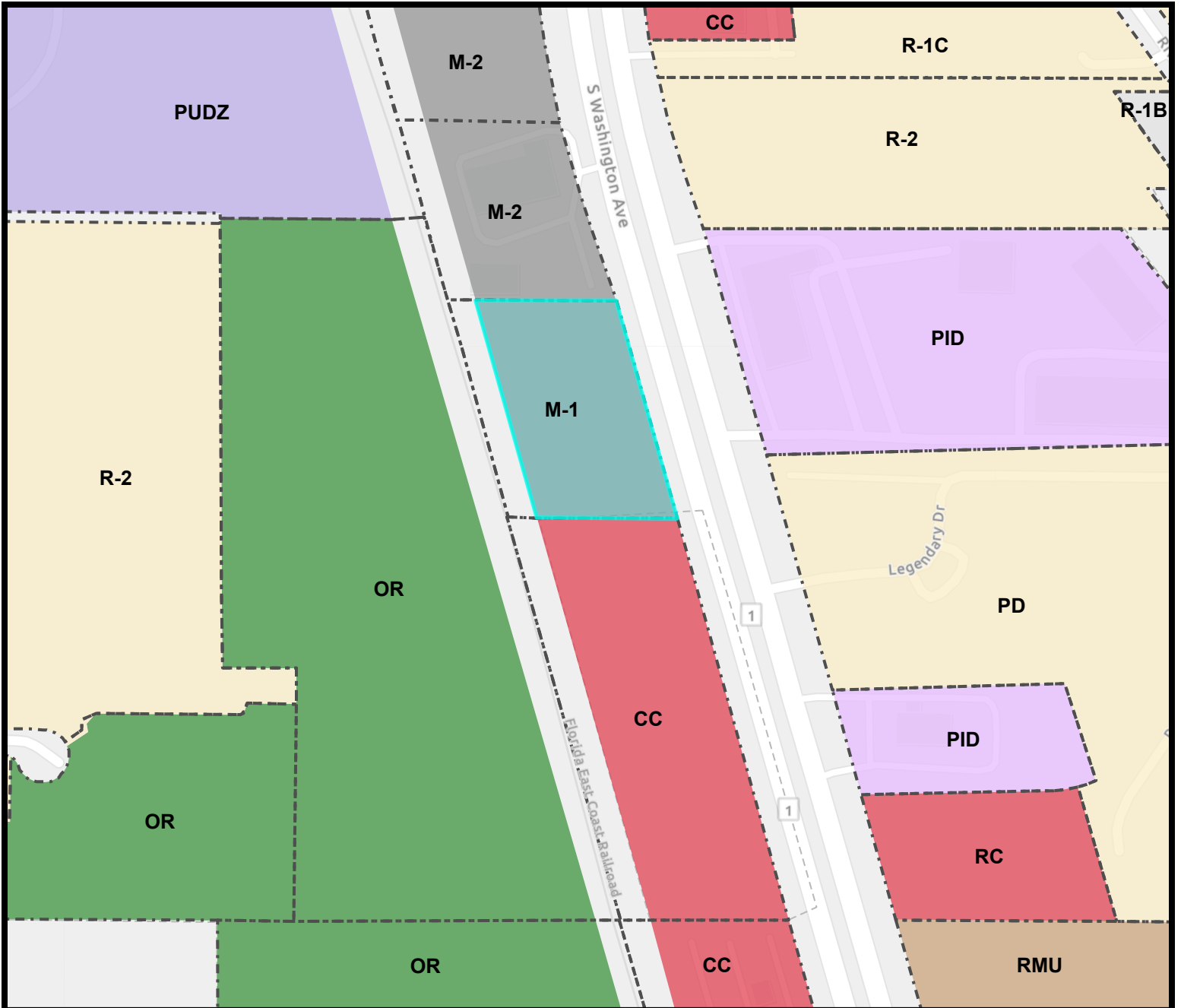
## INDUSTRIAL DISTRICTS

- M-1** LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2** HEAVY INDUSTRIAL
- M-3** HIGHWAY INDUSTRIAL INFILL
- PID** PLANNED INDUSTRIAL DEVELOPMENT

## OVERLAY DISTRICTS

- TSA** TITUSVILLE SHORELINE AREA
- AIA** AIRPORT IMPACT AREA
- WCA** WETLAND AND CONSERVATION AREA
- ACC** AREA OF CRITICAL CONCERN
- HPA** HISTORIC PRESERVATION AREA





## FUTURE LAND USE MAP

<b>CHI</b> COMMERCIAL HIGH INTENSITY	<b>ED</b> EDUCATIONAL	<b>PIP</b> PLANNED INDUSTRIAL PARK	<b>RES-2</b> RESIDENTIAL-2
<b>CLI</b> COMMERCIAL LOW INTENSITY	<b>IND</b> INDUSTRIAL	<b>PSP</b> PUBLIC/ SEMI-PUBLIC	<b>RMU</b> REGIONAL MIXED USE
<b>CONS</b> CONSERVATION	<b>HDR</b> HIGH-DENSITY RESIDENTIAL	<b>PUD</b> PLANNED UNIT DEVELOPMENT	<b>SMU</b> SHORELINE MIXED-USE
<b>DMU</b> DOWNTOWN MIXED-USE	<b>MDR</b> MEDIUM-DENSITY RESIDENTIAL	<b>REC</b> RECREATIONAL	<b>UMU</b> URBAN MIXED-USE
<b>LDR</b> LOW-DENSITY RESIDENTIAL	<b>RES-1</b> RESIDENTIAL-1	<b>US1</b> US-1 CORRIDOR	

