



CITY OF TITUSVILLE

BOARD OF ADJUSTMENTS AND APPEALS

AGENDA

Regular Meeting

July 23, 2025 - 6:00 PM

Council Chamber at City Hall

555 South Washington Avenue, Titusville, FL 32796

Any person who decides to appeal any decision of the Board of Adjustments and Appeals, with respect to any matter considered at this meeting, will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City desires to accommodate persons with disabilities. Accordingly, any physically handicapped person, pursuant to Chapter 286.26 Florida Statutes, should at least 48 hours prior to the meeting, submit a written request to the chairperson of the meeting that the physically handicapped person desires to attend.

Notice

All persons who anticipate speaking on any Public Hearing item must fill out an Oath Card to be heard on that agenda item and sign the oath contained thereon. These cards are located on the table near the entrance to the Council Chamber or may be obtained from the Recording Secretary. This meeting will be conducted in accordance to the procedures adopted in Resolution No. 24-1997.

Those speaking in favor of a request will be heard first, those opposed will be heard second, and those who wish to make a public comment on the item will speak third. The applicant may make a brief rebuttal if necessary. A representative from either side, for or against, may cross-examine a witness.

Anyone who speaks is considered a witness. If you have photographs, sketches, or documents that you desire for the Commission to consider, they must be submitted into evidence and will be retained by the City. Please submit such exhibits to the Recording Secretary.

Applicants for land use and zoning related items are advised that the resumes of staff members who prepare applicable staff reports are on file in the City Clerk's Office.

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL AND DETERMINATION OF A QUORUM

4. APPROVAL OF MINUTES

A. May 28, 2025 Minutes

Approve Minutes

5. QUASI-JUDICIAL CONFIRMATION PROCEDURES

A. Verify all persons wishing to speak before the committee has signed an Oath Card.

B. Chairman confirms that all agenda items have been properly advertised.

C. Member's statements if they have visited any of the sites or spoken to any members of the public regarding an item to be reviewed today.

6. CONSENT AGENDA

7. OLD BUSINESS

8. NEW BUSINESS

A. Variance 10-2025 - 3041 Edington Drive

Consider the requested variance to allow artificial turf to be located within the front yard of a single-family lot for property located at 3041 Edington Drive.

B. Variance 11-2025 - 3042 Edington Drive

Consider the requested variance to allow artificial turf to be located within the front yard of a single-family lot for property located at 3042 Edington Drive.

C. Variance 17-2025 - 109 Fisher Ave

Consider the requested variance to allow less than the required 10-foot interior side yard setback for a primary structure for property located at 109 Fisher Ave.

D. Variance 18-2025 - 1576 S Park Ave

Consider the requested variance to allow the cumulative area of all accessory buildings or structures to exceed fifty (50) percent of the square foot area of the principal structure for property located at 1576 S Park Ave.

9. PETITIONS AND REQUESTS FROM THE PUBLIC PRESENT

10. REPORTS

A. Semi-Annual Report

Approve Semi-Annual Report as written.

11. ADJOURNMENT

City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustments and Appeals
From: Bradley Parrish, Community Development Director
Subject: **May 28, 2025 Minutes**
Department/Office: Development Services

Recommended Action:

Approve Minutes

Summary Explanation & Background:

May 28, 2025 Minutes

Alternatives:

Do not approve the minutes.

Item Budgeted:

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. BAA 5.28.25

DRAFT

Board of Adjustments and Appeals

Regular Meeting

May 28, 2025

The Board of Adjustments and Appeals (BAA) of the City of Titusville, Florida, met in regular session in Council Chambers, on Wednesday, May 28, 2025.

XXX

Chairman Thomas Taylor called the meeting to order at 6:00 p.m. and asked the assembly to recite the Pledge of Allegiance to the Flag.

XXX

Present were Chairman Thomas Taylor, Vice-Chairwoman Margaret Van Deven, Member Richard Wheelus, Member Gina Beckles and Alternate Member James Troutman. Member John Greene was absent. Also, in attendance were Planner Tabitha Armstrong, Principal Planner Eddy Galindo, Interim City Attorney Chelsea Farrell, and Sr. Administrative Assistant Kim Amick. It was determined that a quorum was present.

XXX

Member Wheelus made a motion to approve the April 23, 2025 minutes. Member Beckles seconded. There was a unanimous voice vote.

XXX

Chairman Thomas Taylor confirmed the quasi-judicial procedures verifying that all persons wishing to speak before the board has signed an oath card.

XXX

Tabitha Armstrong confirmed that all agenda items had been properly advertised.

XXX

Chairman Thomas Taylor called for members' statements if they had visited any of the sites.

Chairman Taylor stated he received a phone call from a member of the public and they are here tonight. He stated it was just an information call about the apartment complex but would not change his mind one way or the other.

XXX

DRAFT

Consent Agenda Items

None.

XXX

XXX

Old Business

Variance 10-2025 – 3041 Edington Drive

Tabitha Armstrong stated staff would like to request the board to table Variance 10-2025 for 3041 Edington Drive and Variance 11-2025 for 3042 Edington Drive so staff can review to ensure that the advertisement does not need to be updated with the ordinance that was approved at City Council’s meeting last night. She stated council approved Ordinance 21-2025 for the synthetic turf and staff would like some time to evaluate that ordinance and any impact it may have on the variances.

Member Wheelus asked if there was a copy of the ordinance for review. Interim City Attorney Farrell stated she had a copy and could make copies for the members.

Member Wheelus made a motion to table Variance 10-2025, 3041 Edington Drive, to the next meeting.

Vice-Chairwoman Van Deven Seconded.

Roll call was as follows:

Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes
Member Wheelus	Yes
Alternate Member Troutman	Yes

Motion passed.

XXX

Variance 11-2025 – 3042 Edington Drive

Member Wheelus made a motion to table the Variance 11-2025, 3042 Edington Drive, to the next meeting.

Alternate Member Troutman seconded.

Roll call was as follows:

Member Beckles	Yes
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DRAFT

Member Wheelus	Yes
Alternate Member Troutman	Yes
Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes

Motion passed.

Proposed Amendment to By-Laws

Interim City Attorney Chelsea Farrell stated at the last board meeting Member Wheelus made a motion to amend the by-laws which have been presented on the agenda, Page 86 of the agenda packet you will see where the additional language is proposed, Section 4, of Article 9 under voting. She stated for the audience present; “alternate members may be permitted to participate in discussion of and provide input on agenda items as a member of the Board of Adjustments and Appeals when not officially appointed by the chairman to fill in for an absent regular member. Alternate members may not be permitted to vote unless appointed as a member, and participation shall be in compliance with Resolution No. 24-1997”. She stated this additional language was proposed and modeled after the by-laws for the Planning and Zoning Commission which similarly allows for alternate members to participate in discussion when they are not acting as a voting member so if this board agrees with the proposed change, then a motion would be appropriate to enact this modification.

Alternate Member Troutman made a motion to approve the language in Section 4, the alternate members to be added into the by-laws for the BAA.

Member Wheelus seconded with clarification that the by-laws be adopted as proposed and found in Section 4 that the board received

Chairman Taylor asked Alternate Member Troutman if he agreed to that. Alternate Member Troutman stated yes.

Roll call was as follows:

Member Wheelus	Yes
Alternate Member Troutman	Yes
Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes

Motion passed.

XXX

Interim City Attorney Farrell stated a copy of the Synthetic Turf Ordinance is being passed out for their reference.

XXX

DRAFT

New Business

Variance 13-2025 – 5650 S. Washington Avenue

Tabitha Armstrong reviewed the staff report and explained what the applicant was requesting.

Rick Wrubel, 3885 Richey Road, Mims, Florida, spoke in favor of this item.

Alan Riley, 4541 Camberly Street, Cocoa, Florida, spoke in favor of this item.

Vanesha Greco, 1188 Meadow Lark Drive, Titusville, Florida, spoke in favor of this item.

Discussion followed on this item.

Alternate Member Troutman made a motion to approve Variance 13-2025 with the total square footage of 5,974 for the detached structures.

Member Beckles seconded.

Roll call was as follows:

Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes
Member Wheelus	Yes
Alternate Member Troutman	Yes
Chairman Taylor	Yes

Motion passed.

XXX

Variance 14-2025 – 450 Christian Court

Tabitha Armstrong reviewed the staff report and explained what the applicant was requesting.

Kim Fischer, 1614 White Dove Drive, Winter Springs, Florida, spoke in favor of this item.

Evelyn Levy, 468 Fern Avenue, Titusville, Florida, spoke against this item.

Discussion followed on this item.

Interim City Attorney Farrell asked Ms. Fischer if the applicant might accept a condition that the 15-foot setback would apply to only those lots as depicted on Page 123 of the agenda packet which shows where they are requested. Ms. Fischer stated yes.

Chairman Taylor asked Interim Cit Attorney Farrell to clarify what was said.

DRAFT

Interim City Attorney Farrell stated on Page 123, the site plan, there are certain lots that reflect the 25-foot setback from the perimeter, like along the east side of the project, but others show the 15-foot setback. She stated the variance being requested is for any of these lots to get that 15-foot setback and she asked the applicant if she would accept a condition if the board was inclined to add a condition that only the properties with the 15-foot setback shown on Page 123 would be the ones granted the variance for the reduced setback.

Member Beckles made a motion to approve Variance 14-2025, Parcel ID #21-35-32-64-*-5 at 450 Christian Court, that the lot area be less than the required 2,000 square feet with the following condition:

1. The variance approval is contingent upon approval of a replat to support the proposed development.

Member Wheelus seconded with an amendment, that the reduction be from the required 2,000 square feet to 1,830 square feet per lot per staff's recommendation.

Chairman Taylor asked Member Beckles if the motion held. Member Beckles stated yes, you can add the 1,830 square feet to the motion.

Roll call was as follows:

Member Wheelus	Yes
Alternate Member Troutman	Yes
Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes

Motion passed.

XXX

Vice-Chairwoman Van Deven made a motion to approve Variance 14-2025 with reference to the front yard setback, a reduction from the required 25 feet to 20 feet with the following condition:

1. The variance approval is contingent upon approval of a replat to support the proposed development.

Member Beckles seconded.

Roll call was as follows:

Alternate Member Troutman	Yes
Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes

DRAFT

Member Wheelus Yes

Motion passed.

XXX

Alternate Member Troutman made a motion to approve Variance 14-2025, Parcel ID #21-35-32-64-*-5 to allow less than the required 25-foot rear yard setback for a primary structure with the following conditions:

1. The variance approval is contingent upon approval of a replat to support the proposed development.
2. To restrict the setback to the lots shown on Page 123 as presented in the agenda packet.

Member Beckles seconded.

Roll call was as follows:

Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes
Member Wheelus	Yes
Alternate Member Troutman	Yes

Motion passed.

XXX

Variance 15-2025 – 2001 South Street

Tabitha Armstrong reviewed the staff report and explained what the applicant was requesting.

Jason Larson, 3225 Aviation Avenue, 6th Floor, Coconut Grove, Florida, spoke in favor of this item.

Kim Rezanka, 6013 Farcenda Place, #101, Melbourne, Florida, spoke in favor of this item. Ms. Renzanka handed out information on the project for the board members.

Robin Fisher, 1625 Garden Street, Titusville, Florida, spoke in favor of this item.

Stan Retz, 1415 S. Washington Avenue, Titusville, Florida, spoke in favor of this item.

Discuss followed on this item.

DRAFT

Vice-Chairwoman Van Deven made a motion to approve Variance 15-2025, 2011 South Street, to reduce the minimum floor area per one bedroom dwelling unit from 700 square feet to 616 square feet.

Member Wheelus seconded.

Roll call was as follows:

Member Beckles	Yes
Member Wheelus	Yes
Alternate Member Troutman	Yes
Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes

Motion passed.

XXX

Vice-Chairwoman Van Deven made a motion to approve Variance 15-2025, 2011 South Street to eliminate the required thirty-two (32) square feet of private storage area per unit.

Alternate Member Troutman seconded.

Roll call was as follows:

Member Wheelus	Yes
Alternate Member Troutman	Yes
Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes

Motion passed.

XXX

Variance 16-2025 – 3410 Melody Lane

Interim City Attorney Farrell said Member Beckles had to leave the meeting and explained to the applicant that a majority vote of four was needed to pass a variance request.

Tabitha Armstrong reviewed the staff report and explained what the applicant was requesting.

Matthew Suarez, 3410 Melody Lane, Titusville, Florida, spoke in favor of this item.

Discussion followed on this item.

DRAFT

Chairman Taylor asked the applicant if he wanted to continue with the variance request. Mr. Suarez stated he would like to go forward with the variance request.

Member Wheelus made a motion to approve Variance 16-2025, 3410 Melody Lane, LDR Section 34-226 to allow a six-foot fence in the front yard.

Interim City Attorney Farrell asked Member Wheelus to clarify what he meant by the front yard, she did not know if it was in the report.

Tabitha Armstrong stated it is, but it is Section 30-182 for the code section to allow the fence located in the front yard to exceed the maximum four-foot height or allow the fence to be six feet.

Alternate Member Troutman seconded.

Member Wheelus stated he needed to clarify that it is Section 30-182 of the LDR's.

Roll call was as follows:

Vice-Chairwoman Van Deven	Yes
Member Wheelus	Yes
Alternate Member Troutman	Yes
Chairman Taylor	Yes

Motion passed.

XXX

Petitions and Requests from the Public Present

XXX

Reports

Staff – Tabitha Armstrong stated there will be the tabled items at the next meeting.

Eddy Galindo stated the Planning & Zoning Commission will be having a public workshop on June 4, 2025 at 5:00 p.m. He stated the purpose of the workshop is public engagement for the EAR, the Evaluation and Appraisal Report, which is every seven (7) years the city has to evaluate whether changes in state law are requiring some changes to the Comprehensive Plan and, if so, what changes are needed to meet the state statutes.

Members – None.

City Attorney – None.

DRAFT

Chairman – None.

Adjournment was at 8:03 p.m.

City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustments and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Variance 10-2025 - 3041 Edington Drive**
Department/Office: Planning

Recommended Action:

Consider the requested variance to allow artificial turf to be located within the front yard of a single-family lot for property located at 3041 Edington Drive.

Summary Explanation & Background:

The applicant is requesting a variance to Land Development Regulations, Chapter 30, Section 30-321. Plant Materials. Section 30-321(f) - To allow artificial turf to be located within the front yard of a single-family lot, for property located in the Single-Family Medium Density (R-1B) zoning district, at 3041 Edington Drive, Titusville, FL 32780, as submitted by Matthew Boffo & Maggie Boffo, trustees for Matthew S & Maggie R Boffo Trust, owner.

Alternatives:

1. Approve the variance -- Move to approve the request for a variance to allow artificial turf to be located within the front yard of a single-family lot.
2. Deny the variance -- Move to deny the request for a variance to allow artificial turf to be located within the front yard of a single-family lot. (Include reasoning for denial)

Item Budgeted:

N/A

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Variance 10-2025 Staff Report
2. Exhibit A
3. Application
4. Survey
5. Pre Install Photos
6. Post Install Photos
7. Turf Specs
8. Ordinance 21-2025
9. All Maps VAR#10-2025



City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 10-2025, 3041 Edington Drive**

3 **Meeting Date:** July 23, 2025

4 **Prepared By:** Tabitha Armstrong, Planner

5 **Applicant:** Matthew Boffo & Maggie Boffo, trustees for Matthew S & Maggie R Boffo
6 Trust, owner

7 **Background**

8 (a) Variance request: Land Development Regulations, Chapter 30, Section 30-321.
9 Plant Materials. Section 30-321(f) - *To allow artificial turf to be located within the*
10 *front yard of a single-family lot*, for property located in the Single-Family Medium
11 Density (R-1B) zoning district, at 3041 Edington Drive, Titusville, FL 32780, as
12 submitted by Matthew Boffo & Maggie Boffo, trustees for Matthew S & Maggie
13 R Boffo Trust, owner.

14 (b) Location: 3041 Edington Drive, Titusville, FL. Tax No. 2225059. Parcel I.D. 22-
15 35-16-09-E-6

16 (c) Land Description: COUNTRY CLUB ESTATES LOT 6 BLK E

17 (d) Future Land Use: Low Density Residential

18 (e) Zoning: Single Family Medium Density (R-1B)

19 (f) Surrounding Zoning Districts.

20 1. North: Single Family Medium Density (R-1B)

21 2. South: Single Family Medium Density (R-1B)

22 3. East: Single Family Medium Density (R-1B)

23 4. West: Single Family Medium Density (R-1B)

Board of Adjustments and Appeals: Variance No. 10-2025

1 (g) Lot Characteristics: The subject property is approximately 0.30 acres (13,068 sq.
2 ft) with 52.3 feet of frontage along Edington Dr. These dimensions meet the
3 minimum 7,500 sq. ft lot area and 75-foot lot width for a single-family home within
4 the Single-Family Medium Density (R-1B) zoning district.

5 (h) Uses: Single Family Residence built in 2021

6 **Powers of the BAA**

7 LDR Section 34-226 states that the Board shall grant a variance request when in the
8 opinion of the Board of Adjustments and Appeals, owing to special conditions, the
9 literal enforcement of such ordinance or regulations would do manifest injustice to, or
10 impose an unnecessary hardship upon the applicant. In order to authorize any variance
11 to the provisions of such ordinance, the Board must consider the following criteria:

12 (a) Special conditions and circumstances exist which are peculiar to the land,
13 structure, or building involved and which are not applicable to other lands,
14 structures or building in the same zoning.

15 (b) Special conditions and circumstances do not result from the actions of the
16 applicant.

17 (c) Granting the variance requested will not confer upon the applicant any special
18 privilege that is denied by the ordinance to other lands, buildings or structures in
19 the same zoning district.

20 (d) The literal interpretation of the provisions of the ordinance would deprive the
21 applicant of rights commonly enjoyed by other properties in the same zoning
22 district under the terms of the ordinance.

23 (e) The variance granted is the minimum variance that will make possible the
24 reasonable use of the land, building or structure.

25 (f) The granting of the variance will preserve the spirit of the ordinance and remain
26 in harmony with its general purpose and intent.

27 (g) In granting the variance, the public safety and welfare must be assured.

28 (h) In no case shall the granting of a variance result in a change of use, which would
29 not be permitted in that zone.

30 **Analysis**

31 The applicant is requesting a variance to allow artificial turf within the front yard of a
32 single-family residential property. In Land Development Regulations (LDR) Section
33 37-1 the front yard is defined as the space extending the full width of the lot between
34 the principal structure and the front lot line. Artificial turf has been installed in the

Board of Adjustments and Appeals: Variance No. 10-2025

1 front, side, and rear yards of the lot. The variance request applies specifically to the
2 turf located within the front yard, as depicted in Exhibit A.

3 Section 30-321(f) of the LDRs, as amended by Ordinance 21-2025 on May 27, 2025,
4 permits artificial turf within the side and rear yards of single-family lots when
5 concealed from view from the adjacent right-of-way and consistent with the standards
6 outlined in Section 30-325, "Artificial Turf." As part of the application, the applicant
7 submitted product specifications for the artificial turf in use. Staff has reviewed the
8 material and confirm that it meets the technical requirements set forth in Section 30-
9 325, including permeability, material composition, and installation standards.

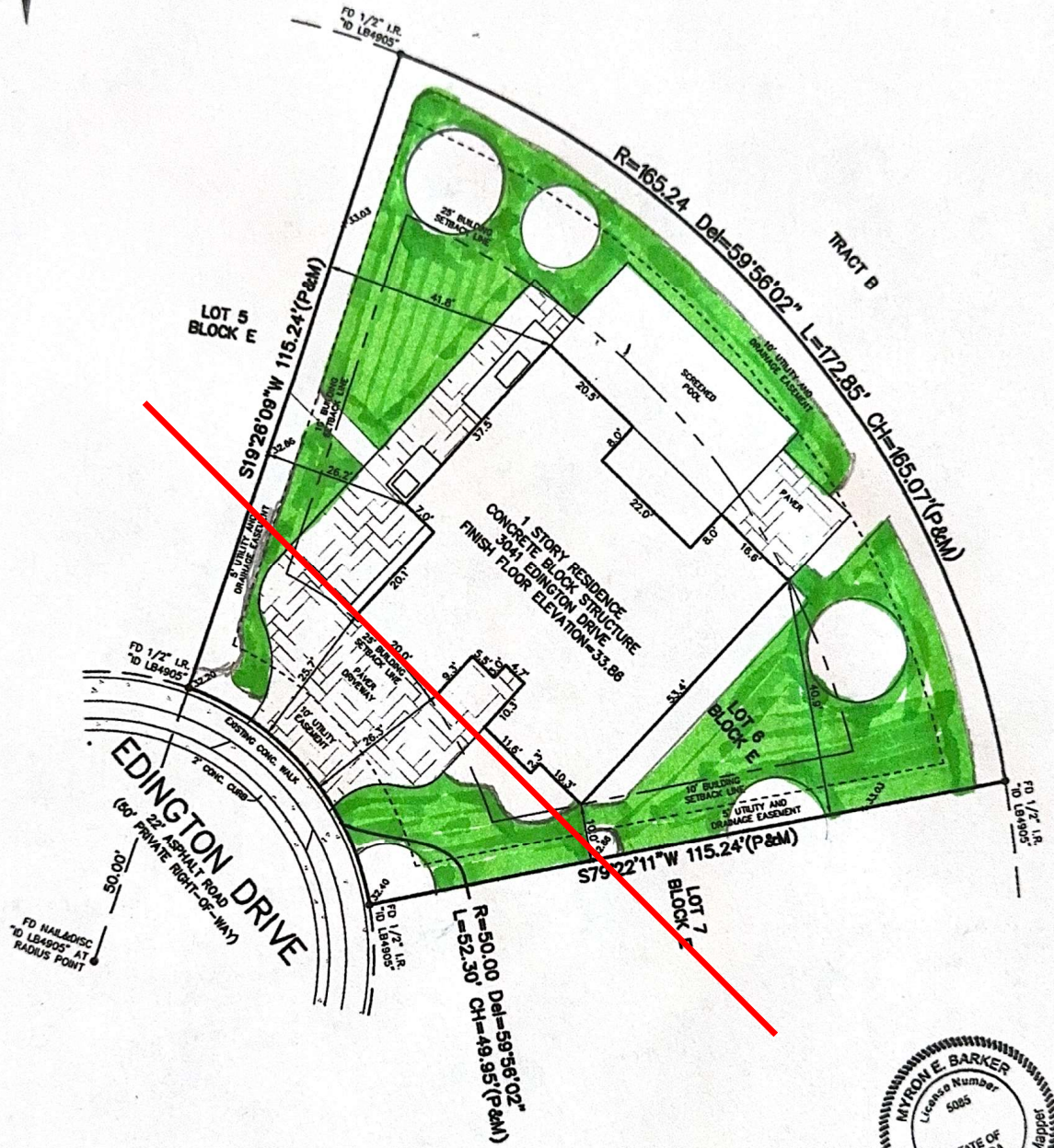
10 However, the lot does not appear to contain any special conditions or circumstances
11 that would prevent the use of natural landscaping in the front yard. As such, staff find
12 that no hardship has been demonstrated that would warrant a variance from the code
13 requirement.

14 **Recommendation**

15 Staff recommend **denial** of the variance. There are no special conditions or
16 circumstances which are peculiar to the land that would make it different from similar
17 lots in the subdivision. Denying the request will not deprive the applicant of rights
18 commonly enjoyed by other properties.

BOUNDARY SURVEY OF:
 LOT 6, BLOCK E AS SHOWN ON THE PLAT OF COUNTRY CLUB ESTATES
 AS RECORDED IN PLAT BOOK 60, PAGES 25-27 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

Exhibit A



Myron E. Barker
 PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE
 MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085
 CERTIFICATE OF AUTHORIZATION LB. 6586

LEGEND

(AKA)	= ALSO KNOWN AS
C	= CENTERLINE
C.B.	= CONCRETE BLOCK
C.B.S.	= CONCRETE BLOCK STRUCTURE
C.L.F.	= CHAIN LINK FENCE
C.L.R.	= CLEAR
C.M.	= CONCRETE MONUMENT
CONC.	= CONCRETE
COR.	= CORNER
COVD	= COVERED
D	= DELTA
FD	= FOUND
ID	= IDENTIFICATION
I.P.	= IRON PIPE
I.R.	= IRON ROD
L	= LENGTH
LS	= LICENSE BUSINESS
LS	= LICENSE SURVEYOR
(M)	= MEASURED
N&D	= NAIL & DISK
(P)	= PLATED
PC	= POINT OF CURVATURE
PT	= POINT OF TANGENCY
PL	= PROPERTY LINE
P.S.M.	= PROFESSIONAL SURVEYOR & MAPPER
PRC	= POINT OF REVERSE CURVE
P.U.&D.	= PUBLIC UTILITY & DRAINAGE
R	= RADIUS
R/W	= RIGHT-OF-WAY
(TYP.)	= TYPICAL
WT	= WOOD FENCE

SURVEYOR'S NOTES:

- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF N.19°26'09"E, ALONG THE EAST LINE OF LOT 5, BLOCK E.
- 2) AS PER FLOOD INSURANCE RATE MAP NO.12009C 0205 G, INDEX DATED 03-17-2014, THE ABOVE DESCRIBED PROPERTY LIES IN ZONE X.
- 3) THIS SURVEY WAS PREPARED FROM TITLE INFORMATION PROVIDED TO THE SURVEYOR. THERE MAY BE ADDITIONAL RESTRICTIONS OR EASEMENTS THAT AFFECT THE PROPERTY.
- 4) UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.
- 5) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, RESERVATION, AGREEMENT AND/OR EASEMENTS OF RECORD, SUCH INFORMATION IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHER THROUGH APPROPRIATE TITLE VERIFICATION.
- 6) NOT VALID WITHOUT A SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

TYPE OF SURVEY:
FINAL

PROJECT:
20-2138

SCALE: 1" = 20'

DATE: 11/12/2020

CAD FILE: 19-1555.DWG

F.B. NUMBER:

REVISION:
4/15/21-REMOVED PAVERS
IN REAR EASEMENT

PRECISION
LAND SURVEYING, INC.
 2900 LAKE WASHINGTON ROAD, SUITE 1
 MELBOURNE, FLORIDA 32935
 PHONE: 321-259-4600
 EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:
 THE MATTHEW S. AND MAGGIE R. BOFFO TRUST,
 MATTHEW & MAGGIE BOFFO AS TRUSTEES,
 DAMAR HOMES, INC.
 LIBERTY TITLE COMPANY
 WESTCOR LAND TITLE INSURANCE COMPANY
 BRANCH BANKING & TRUST CO./TRUIST BANK



Gateway to Nature & Space

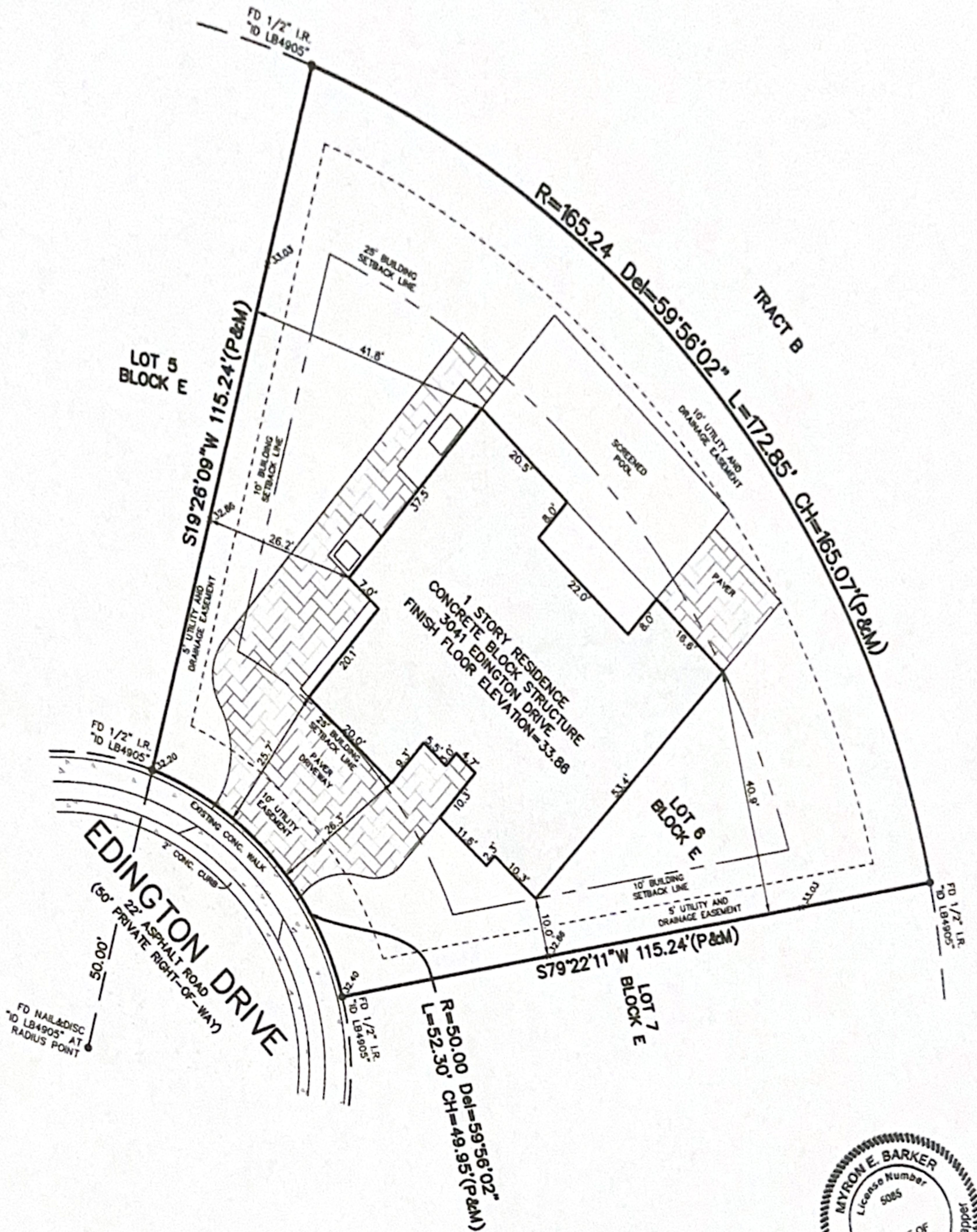


APPLICATION FOR VARIANCE

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. **INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.**

1. Project Location	Property Address/Location Description		
2. Applicant/ Owner	Name of Applicant/Contact	Name of Owner	
	Street Address	Street Address	
	City State Zip	City State Zip	
	Telephone #	Telephone #	
	E-Mail Address	E-Mail Address	
3. Applicant Status	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Agent <input type="checkbox"/> Other		
4. Parcel ID		Tax Acct.	
5. Site Size	Acres:		Square Feet:
6. Property Information	Current Zoning		Current Use of Property
7. Variance(s) Requested	<i>Section Number</i> 1) _____ 2) _____ 3) _____ 4) _____ 5) _____	<i>LDR Requirement</i> 1) _____ 2) _____ 3) _____ 4) _____ 5) _____	<i>Variance Requested</i> 1) _____ 2) _____ 3) _____ 4) _____ 5) _____
8. Narrative	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application)		

BOUNDARY SURVEY OF:
LOT 6, BLOCK E AS SHOWN ON THE PLAT OF COUNTRY CLUB ESTATES
 AS RECORDED IN PLAT BOOK 60, PAGES 25-27 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



Myron E. Barker
 PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE
 MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085
 CERTIFICATE OF AUTHORIZATION LB. 6586

LEGEND

(AKA)	= ALSO KNOWN AS
CL	= CENTERLINE
C.B.	= CONCRETE BLOCK
C.B.S.	= CONCRETE BLOCK STRUCTURE
C.L.F.	= CHAIN LINK FENCE
CLR.	= CLEAR
C.M.	= CONCRETE MONUMENT
CONC.	= CONCRETE
COR.	= CORNER
COVD	= COVERED
D	= DELTA
FD	= FOUND
ID	= IDENTIFICATION
IP	= IRON PIPE
LR	= IRON ROD
L	= LENGTH
LB	= LICENSE BUSINESS
LS	= LICENSE SURVEYOR
(M)	= MEASURED
N&D	= NAIL & DISK
(P)	= PLATTED
PC	= POINT OF CURVATURE
PT	= POINT OF TANGENCY
PL	= PROPERTY LINE
P.S.M.	= PROFESSIONAL SURVEYOR & MAPPER
PRC	= POINT OF REVERSE CURVE
P.U.&D.	= PUBLIC UTILITY & DRAINAGE
R	= RADIUS
R/W	= RIGHT-OF-WAY
(TYP.)	= TYPICAL
W.F.	= WOOD FENCE

SURVEYOR'S NOTES:

- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF N.19°26'09\"/>

TYPE OF SURVEY:
 FINAL

PROJECT:
 20-2138

SCALE: 1" = 20'

DATE: 11/12/2020

CAD FILE: 19-1555.DWG

F.B. NUMBER:

REVISION:
 4/15/21-REMOVED PAVERS
 IN REAR EASEMENT

PRECISION
LAND SURVEYING, INC.
 2900 LAKE WASHINGTON ROAD, SUITE 1
 MELBOURNE, FLORIDA 32935
 PHONE: 321-259-4600
 EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:
 THE MATTHEW S. AND MAGGIE R. BOFFO TRUST,
 MATTHEW & MAGGIE BOFFO AS TRUSTEES,
 DAMAR HOMES, INC.
 LIBERTY TITLE COMPANY
 WESTCOR LAND TITLE INSURANCE COMPANY
 BRANCH BANKING & TRUST CO./TRUIST BANK

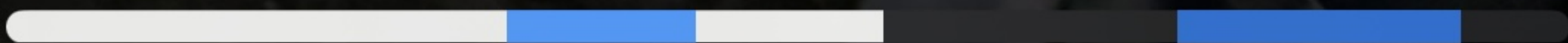
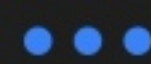
November 29, 2022

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November 29, 2022

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November 29, 2022

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November 29, 2022

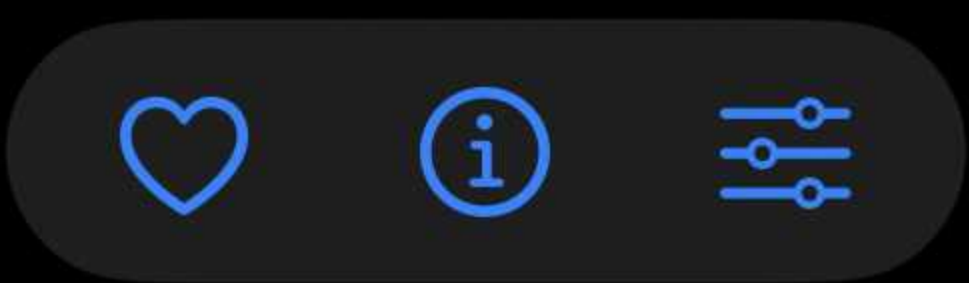
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October 6, 2021
1:14 PM



October 6, 2021
1:15 PM



October 6, 2021
1:15 PM













CLIENT:

Company:	Turf Distributors
Address:	42505 Rionedo Road
	Temecula, CA 92590
Requested By:	Dillon Georgian

TEST MATERIAL:

Date Material Received:	February 8, 2021
Material Type:	Synthetic Turf
Material Condition:	Excellent, New
Material ID:	Flow 75
Infill:	16 Grit Sand, to ¾" exposed tuft

TESTING METHODS REQUESTED:

<i>Testing Services Inc. was instructed by the client to test for the following...</i>		
Standard:	ASTM F1551	Test Method: Standard Test Methods for Comprehensive Characterization of Synthetic Turf Playing Surfaces and Materials: Suffix-DIN 18-035, Part 6: Water Permeability of Synthetic Turf Systems and Permeable Bases

SAMPLING PLAN:

Sampling Date:	2/8/2021
<ul style="list-style-type: none"> Specimen sampling is performed in the sampling department at TSI. The sampling size of specimens is determined by the test method requirements. In the event a specific sampling size is not called for, a determination will be made based on previous testing experience, and approved for use by an authorized manager. All samples are subjected to the outside environmental conditions of temperature and relative humidity. Sample requiring pre-determined exposure to specified environmental conditions based on a specific test method, take place in the departments in which they are tested 	

DEVIATION FROM TEST METHOD:

State reason for any Deviation from, Additions to, or Exclusions From Test Method.
None

PROCEDURE:

This test method determines the rainfall drainage capacity (permeability) of the playing surface. Test data values represent drainage rates vertically thru the turf with infill listed above, and do not take into account the percolation properties of a pad and/or an underlying sub base. Three specimens, 11.5" diameter, were cut from the 15' turf roll, side-center-side manner. Each turf specimen was securely fastened to the permeability tube using mechanical flanges, ensuring vertical water flow thru the product. Water was pumped into the tube faster than could exit, until the water level reached 6". The water source was shut off, allowing the accumulated 6" water level to recede. The recede was timed via stopwatch until the water level exited the turf. The flow time was recorded in seconds. This procedure was repeated a total of 4 times where, the first pass was for conditioning, with passes 2,3,4 used for averaging. This process was repeated on the remaining specimens.

TEST SUMMARY:

Specimen #	Drainage (Seconds)	gal/min/yd ²	Rainfall Capacity (inches/hour)
1	21.5	94.0	288.3
2	17.3	116.8	358.2
3	17.8	113.3	347.5
Average			331.3 inches/hour

Uncertainty:

We undertake all assignments for our clients on a best effort basis. Our findings and judgments are based on the information to us using the latest test methods available.

TSI can only ensure the test results for the specific items tested.

Unless otherwise noted in the deviations sections of this report, all tests are performed in compliance with stated test method.

Test Report Approval:

Erle Miles, III, Lab Director Testing Services (TSI) LLC

TSI Accreditation: Our laboratory is accredited by the US Dept. of Commerce, National Institute of Standards and Technology: ISO/IEC 17025:2005. Our code # is: NVLAP 100108-0. TSI is an Organizational Member of ASTM (American Society for Testing and Materials). TSI is a certified independent testing laboratory by the STC (Synthetic Turf Council).



Testing Services (TSI) LLC
 817 Showalter Avenue
 PO Box 1343
 Dalton, GA 30721

DETAILED SPECIFICATION SHEET

FLOW 75 OLIVE >>



Recommended Uses

- Landscape
- Commercial
- Play Areas
- Pets

Flow 75 Olive is equipped with Optimum Flow™ technology for exceptional drainage. This is our preferred product for pet applications due to its permeability and slightly stiffer blade structure, which makes cleaning a breeze. Flow 75 Olive is also perfect for landscape, putting fringe, and anywhere else a medium density product is needed.



16 Year Warranty

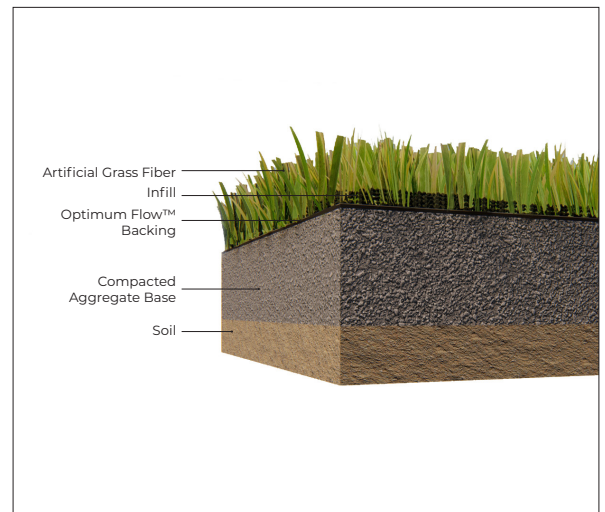


Optimum Flow™ Technology



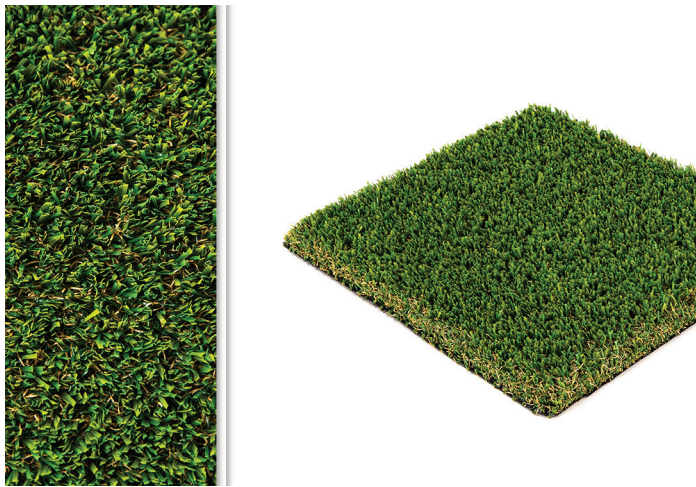
Made in the U.S.A.

Yarn Type	UV Polyethylene - W Shape
Denier	10800 / 4400
Approximate Pile Height	1.5 in.
Machine Gauge	3/8 inch
Roll Size	15 x 100 linear feet
Approximate Infill Amount	1.0 lb / psf
Primary Backing	Optimum Flow™
Total Product Weight	83.66 oz/yd ²
Pile Yarn Weight	49.20 oz/yd ²
Average Tuft Bind Strength	10.8 lbs/force
Total Lead Content	<0.5 mg/Kg
Pill Flammability	8 out of 8 Pass
Water Permeability	331.3 in/hr
QUV Accelerated Weathering	Color: 9 / Texture: 10



VistaPet™

16-Year Product Warranty 



dura**blade**™  PFAS FREE 

Recommended Uses

- Pets & Kids
- High Traffic
- Living Spaces

VistaPet™ is engineered to meet the specific needs of pet owners, providing a safe, durable, and easy-to-maintain solution. Our turf stands out due to its innovative features and high-quality construction, making it the ideal choice for any pet-friendly environment

Yarn Type	DuraBlade™ - Wave Blade
Denier	11,337
Pile Height	~1.125"
Machine Gauge	3/8"
Roll Size	15' x 100'
Primary Backing	TriFlow Backing™
Product Weight	~90 oz
Pile Yarn Weight	~59oz
Average Tuft Bind Strength	3.0 lbs of force
Total Lead Content	0.66 ppm
Pill Flammability	8 Out of 8 Pass
Water Permeability	88" per Hour

VistaScape™
VistaPet



Stock VistaPet and Boost Your Sales!

The Ultimate Paw Perfect Turf

VistaPet is a premium, high-quality turf solution specifically designed for pet-friendly environments. Its unique features, superior durability, and exceptional safety make it a standout product that provides unmatched value for pet owners.

Benefits for Pet Owners



Easy Cleanup

High Flow Rate

The high flow rate helps wash away messes quickly, ensuring the turf remains hygienic and odor-free.

Moisture-Wicking Properties

Keeps the surface dry, preventing odors and maintaining a comfortable environment for pets.

Durability

Withstands Heavy Use

Designed to handle the demands of active pets, providing a reliable and long-lasting solution.

Safety First

PFAS Free & Lead Free

Ensures a safe play area for pets and children, offering peace of mind to pet owners.

Key Features of VistaPet



TriFlow Backing™

Three-Layer Backing System

1. **Strong Woven Polypropylene Base:** The bottom layer is made from durable polypropylene, ensuring your grass stays strong and stable, even under heavy use.
2. **Flexible Non-Woven Polypropylene:** The middle layer enhances the structural strength of your turf while maintaining excellent permeability and flexibility. This ensures robust support without compromising water flow.
3. **Clear, Thin but Robust Coating:** The top layer features a clear coating that helps bind the artificial grass fibers in place, adds to the overall strength of the backing, and still allows water to flow through easily, ensuring your lawn remains dry and safe even after heavy rainfall.



Excellent Drainage

Quickly channels water away to keep the turf dry and ready to use.

Long-Lasting Durability

Built to withstand wear & tear, ensuring it remains beautiful and resilient for years.

Superior Fiber Binding

The clear coating ensures that grass fibers are securely held in place, enhancing overall stability and longevity.

DuraBlade™ Technology

Robust Construction

Ensures the blades remain strong & resilient, providing long-lasting performance.

Aesthetic Appeal

Mimics the look and feel of natural grass, enhancing any outdoor area.

Pet & Child Safe

PFAS Free & Lead Free

Guarantees a safe environment for pets and children.

Safe for Pets & Children

Parents can be confident that their children can play on the turf without exposure to harmful substances.



Total Weight
~91 oz.



Face Weight
~64 oz.



Pile Height
1.125"



Warranty
16-Years



Join Us Today!

Stock VistaPet and Provide Your Customers with the Best in Pet-Friendly Artificial Turf.

(951) 384-6540

info@turfdistributors.com

www.turfdistributors.com

ORDINANCE NO. 21-2025

AN ORDINANCE OF THE CITY OF TITUSVILLE, FLORIDA AMENDING THE CODE OF ORDINANCES TO PROVIDE STANDARDS REGULATING THE USE OF ARTIFICIAL TURF BY AMENDING SECTIONS 30-202 “STORMWATER MANAGEMENT PERMIT”, 30-321 “PLANT MATERIALS”, 30-323 “EXISTING VEGETATION”, AND 37-1 “DEFINITIONS”, AND CREATING SECTION 30-325 “ARTIFICIAL TURF”; PROVIDING FOR SEVERABILITY, REPEAL OF CONFLICTING ORDINANCES, INCORPORATION INTO THE CODE AND AN EFFECTIVE DATE.

WHEREAS, Artificial vegetation, such as artificial grass, negatively impacts the environment due to its non-biodegradable plastic composition, which contributes to landfill waste, microplastic pollution, and harmful chemical releases during manufacturing and disposal; additionally, the production process itself is energy-intensive, generating significant greenhouse gas emissions while displacing natural vegetation that absorbs carbon dioxide.

WHEREAS, Artificial surfaces replace natural vegetation, reducing habitat for insects and other wildlife as well as hindering water infiltration into the soil negatively affecting groundwater supplies and disrupting soil ecosystems.

WHEREAS, According to the University of Plymouth, Plymouth United Kingdom artificial grass has the following negative impacts:

- does not provide any food for living creatures. It restricts access to the soil beneath for burrowing insects and to the ground above for soil dwellers such as worms.
- restricts access to natural materials like leaf litter and grass clippings – essential for feeding soil organisms like worms and microscopic animals and keeping the soil healthy.
- reaches significantly greater temperatures than those reached by natural grass under the same weather conditions. Plastic lawns can overheat in hot weather making them unusable.
- Artificial grass can contribute to global warming by absorbing significantly more radiation than living grass and, to a lesser extent, by displacing living plants that could remove carbon dioxide through photosynthesis.
- Reduces the amount of rainfall entering the soil negatively affecting soil health and groundwater supplies. Additional stormwater runoff is also created, increasing the potential for flooding and negative impacts to receiving water bodies

WHEREAS, the City Council has become aware of the increased use of artificial turf based upon variances granted by the Board of Adjustments and Appeals; and

WHEREAS, the City Council desires to provide guidelines for the use of artificial turf within the City.

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF TITUSVILLE, FLORIDA as follows:

SECTION 1: Recitals. The foregoing recitals are deemed true and correct and are hereby adopted and incorporated herein by this reference.

SECTION 2: That Chapter 30 “Development Standards”, Article III “Improvements”, Division 6 “Stormwater Management and Aquifer Protection”, Subdivision 1 “Stormwater Management and Erosion Control”, Section 30-202 “Stormwater management permit” of the Code of Ordinances of the City of Titusville is hereby amended to read as follows:

Sec. 30-202. Stormwater management permit.

- (a) The following activities alter or disrupt existing stormwater runoff patterns or affect aquifer recharge areas and will require a permit prior to the initiation of any project except as exempted in Section 30-203.
 - (1) Filling, clearing and/or drainage of land as an adjunct to construction.
 - (2) Clearing, filling and/or draining of nonagricultural land for agricultural purposes.
 - (3) Converting agricultural lands to nonagricultural uses.
 - (4) Subdividing land.
 - (5) Replatting recorded subdivisions and the development of recorded and unrecorded subdivisions.
 - (6) Changing the use of land and/or the construction of a structure including the construction of parking areas or impervious surfaces or a change in the size of one (1) or more structures.
 - (7) Altering the shoreline or bank of any surface water body.
 - (8) Altering of any ditches, dikes, terraces, berms, swales, or other water management facility.
 - (9) Removal of earth or moving of earth on a parcel. For all activities that require a permit.
 - (10) Construction or size modification of a structure including parking areas or impervious surfaces, including artificial turf.
 - (11) Site and subdivision development requiring City approval of all new construction including buildings, parking, new impervious area accessory structures.
- (b) Site and subdivision development requiring city approval all new construction including buildings, parking, new impervious areas (including artificial turf), accessory structures, etc.

SECTION 3: That Chapter 30 “Development Standards”, Article III “Improvements”, Division 10 “Landscaping”, Subdivision 2 “Landscape Materials”, Section 30-321 “Plant Materials” of the Code of Ordinances of the City of Titusville is hereby amended to read as follows:

Sec. 30-321. Plant materials.

- (a) *Quality:* Plant material used in conformance with the provisions of this article shall be good, healthy and sturdy plants. All plant material shall be Florida #1 grade or better. Plant materials which are known to be intolerant of paving environments or whose physical characteristics may be injurious to the public or which produce a quantity and/or quality of debris so as to present maintenance difficulties shall not be specified for use under this article.
- (b) *Native vegetation:* The applicant is encouraged to utilize plant material native to Brevard County in meeting these landscaping requirements. The existing vegetation that is native to Brevard County with the exception of that listed in Section 30-4(d) shall be preserved and utilized except when removal is justified and determined to be acceptable by the enforcement official (see Landscape Technical Manual).
- (c) *Ground cover:* Ground covers, other than grass, shall be planted in such a manner so as to present a finished appearance and reasonably complete coverage within six (6) months after planting (see Landscape Technical Manual).
- (d) *Lawn grass:* Grass areas shall be planted in species normally grown as permanent lawns in Brevard County. Seeding and sprigging may be used if grass cover is complete within six (6) months, or sodding will be required (see Landscape Technical Manual).
- (e) *Hedges:* Hedges, where required, shall be planted in sufficient number and maintained so as to form a continuous, unbroken, solid screen within a maximum of six (6) months after time of planting (see Landscape Technical Manual).
- (f) *Synthetic plants prohibited:* Synthetic or artificial material in the form of trees, shrubs, ground covers or vines are prohibited in landscaping and yards. Artificial turf shall not be used in lieu of the plant requirements in this section. Synthetic or artificial turf may only be used on single family lots. Synthetic or artificial turf may be placed in side or rear yards of single family lots when concealed from view from the adjacent right-of-way and consistent with the requirements of Section 30-325 “Artificial Turf”.
- (g) *[Overstory trees:]* Overstory trees shall be species having an average mature spread of crown of greater than twenty (20) feet and reach a mature height of at least sixty (60) feet, and having a trunk which can be maintained in a clean condition with over five (5) feet of clear wood (no branches). Trees, including palms, having an average mature spread of crown less than twenty (20) feet may be arranged in groupings so as to create the equivalent of twenty-foot crown spread and shall count as one (1) required tree. Invasives shall not be used to fulfill the requirements of this article (see Landscape Technical Manual).
- (h) *Caliper:* Plant materials required by this section shall comply with the minimum size requirements of Table 30-5, Minimum landscape planting specifications at the time

of installation. Plant height shall be measured from the average grade level of the immediate planting area to the top horizontal plane of the shrub at planting; for single-trunk trees, the measurement shall be taken six (6) inches above grade level; for multitrunk trees, the tree shall be measured from the average grade level of the immediate planting area.

- (i) *Planting areas and shrubs:* Planting areas shall consist of permeable surface areas only. The permeable surface areas for shrubs may be included with permeable surface areas required for trees.
- (j) *Pavement edges:* Each overstory, coniferous, understory [tree] or shrub shall be planted at least twelve (12) inches from the edge of any paved surface.
- (k) *Irrigation:* Irrigation must be indicated on the landscape plan. Any landscape area must be shown by water tolerant usage area.

SECTION 4: That Chapter 30 “Development Standards”, Article III “Improvements”, Division 10 “Landscaping”, Subdivision 2 “Landscape Materials”, Section 30-323 “Existing vegetation” of the Code of Ordinances of the City of Titusville is hereby amended to read as follows:

Sec. 30-323. Existing vegetation.

All open areas of any site not occupied by building, parking, storage, or required landscape plant materials shall be retained as a natural vegetated area or (sodded) grass or ground cover, except for artificial turf installed on single family lots consistent with the requirements of Section 30-325 “Artificial Turf”. The developer shall make a good faith effort to incorporate existing vegetation in the landscaping throughout the property.

SECTION 5: That Chapter 37 “Definitions”, Section 37-1 “Definitions” of the Code of Ordinances of the City of Titusville is hereby amended to add a new definition which reads as follows:

Artificial turf (also known as Synthetic turf or grass): A surface that closely replicates the look and feel of natural grass. Synthetic turf includes fibers consisting of green life-like individual blades that emulate natural turf or turfgrass in color, texture and size. Synthetic turf is a type of landscaping that eliminates the potentially unpredictable growth of natural grass.

SECTION 6: That the Code of Ordinances, City of Titusville is hereby amended by adding a section, to be numbered Section 30-325 “Artificial Turf”, which said section reads as follows:

Sec. 30-325. Artificial Turf.

- (a).Artificial turf shall not be used in lieu of the plant requirements of this Article.
- (b).Artificial turf is prohibited in any public right-of-way.
- (c).Artificial turf shall be limited to use on single family lots.

- (d).Artificial turf shall be installed to have a minimum permeability of thirty (30) inches per hour per square yard. Artificial turf that does not meet the permeability minimum shall be considered 100% impervious area and required to receive a stormwater management permit consistent with Sec. 30-202 "Stormwater management permit."
- (e).Artificial turf shall have a minimum 15-year manufacturer's warranty that protects against color fading and decrease in pile height.
- (f). Artificial turf shall be lead-free.
- (g).Artificial turf shall come with "total content leach protocol" (TCLP) test documentation declaring that the yarn and backing material are disposable under normal conditions at any U.S. landfill station.
- (h).Infill materials for artificial turf must be organic or sand, with a non-toxic coating.
- (i). The use of "indoor/outdoor" carpeting as a replacement or substitute for artificial turf is strictly prohibited.
- (j). Any deviation from these minimum standards must be approved as a variance by the Board of Adjustments and Appeals. No variance may be granted for use within the shoreline protection buffers as established in Section 30-63, Shoreline Protection Setbacks.
- (k).Installation shall be, at a minimum, in accordance with manufacturer's specifications.
- (l). Artificial turf shall be anchored in order to withstand the effects of wind.
- (m). Seams shall be nailed and glued (not sewn) and all edges shall be trimmed to fit against all regular and irregular edges in order to present a natural look.
- (n).Sufficient drainage shall be provided in order to prevent excess runoff or pooling of water.
- (o).Artificial turf shall be maintained in a "like new" condition free of weathering and fading. Artificial turf areas shall be kept free of dirt, debris, stains, and weeds. Tears, holes, ruts, depressions and the like shall be repaired immediately with like for like materials, from the same manufacturer if possible. Edges shall be properly anchored and shall not present a "loose" appearance.
- (p).Artificial turf installed in compliance with this code shall NOT count toward the required minimum landscape area.
- (q).Artificial turf that is proposed with a building permit on single family lots shall be inspected for consistency with this Section. Artificial turf that is not proposed with a building permit shall not require a permit provided the materials, placement and installation are consistent with this Section.


SECTION 7. SEVERABILITY. If any provision of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions of this Ordinance.

SECTION 8. REPEAL OF CONFLICTING ORDINANCES. All ordinances or parts of ordinances, and all resolutions and parts of resolutions, in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 9. INCORPORATION INTO THE CODE. This ordinance shall be incorporated into the City of Titusville Code of Ordinances and any section or paragraph, number or letter, and any heading may be changed or modified as necessary to effectuate the foregoing: Grammatical, typographical, and like errors may be corrected and additions, alterations, and omissions, not affecting the construction or meaning of this ordinance and the Code may be made.

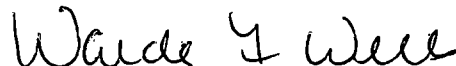
SECTION 10. EFFECTIVE DATE. This Ordinance shall become in full force and effect upon adoption by the City Council in accordance with the Charter of the City of Titusville, Florida.

PASSED AND ADOPTED, this 27th day of May, 2025.

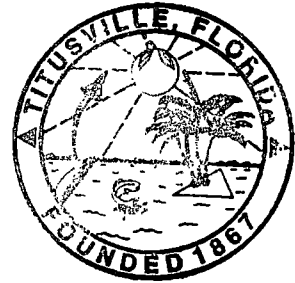


Andrew Connors, Mayor

ATTEST:



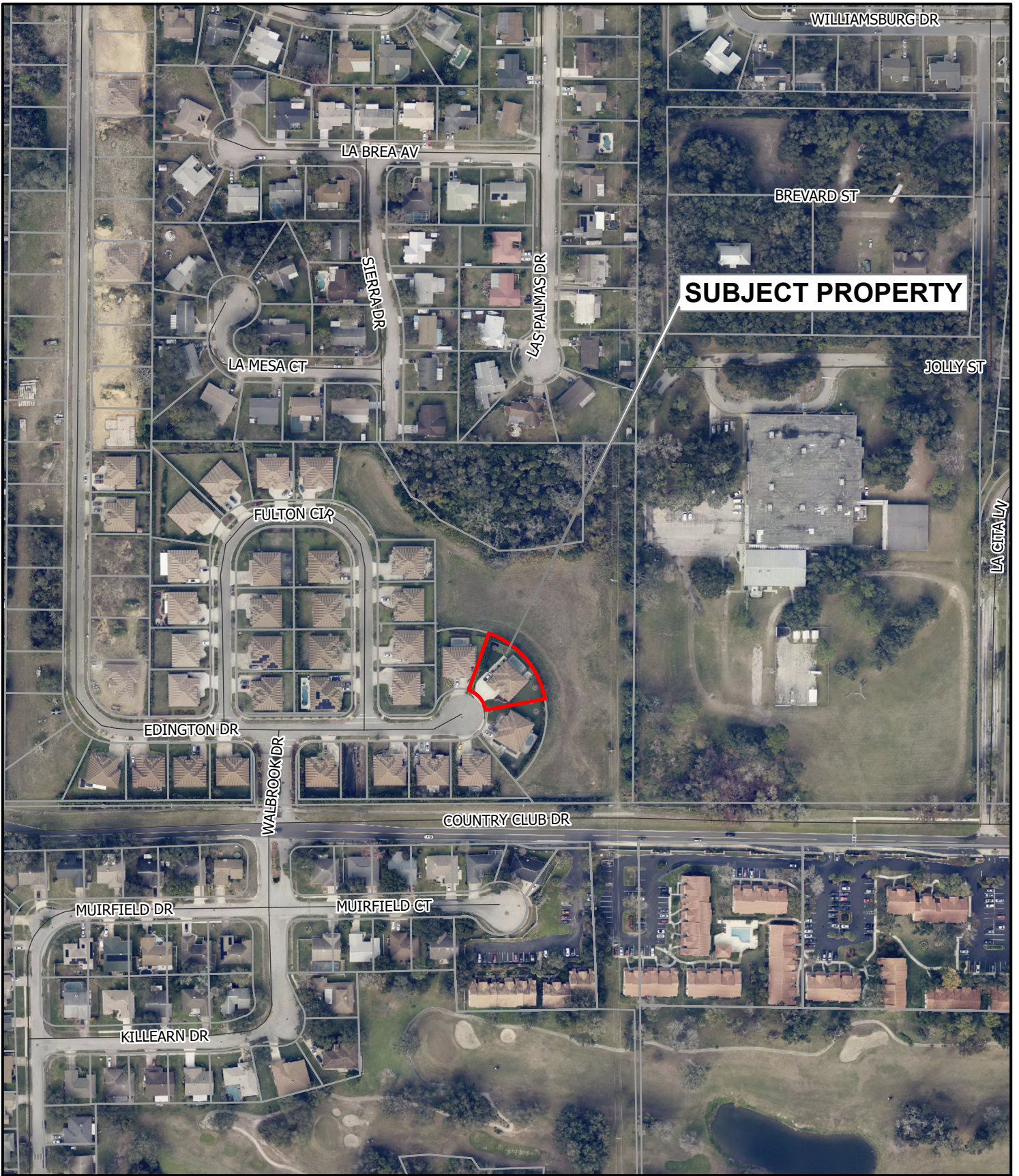
Wanda F. Wells, City Clerk



CC:

Laurie Dargie

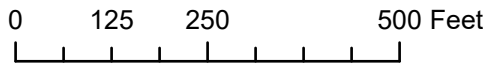
Jolynn Donhoff

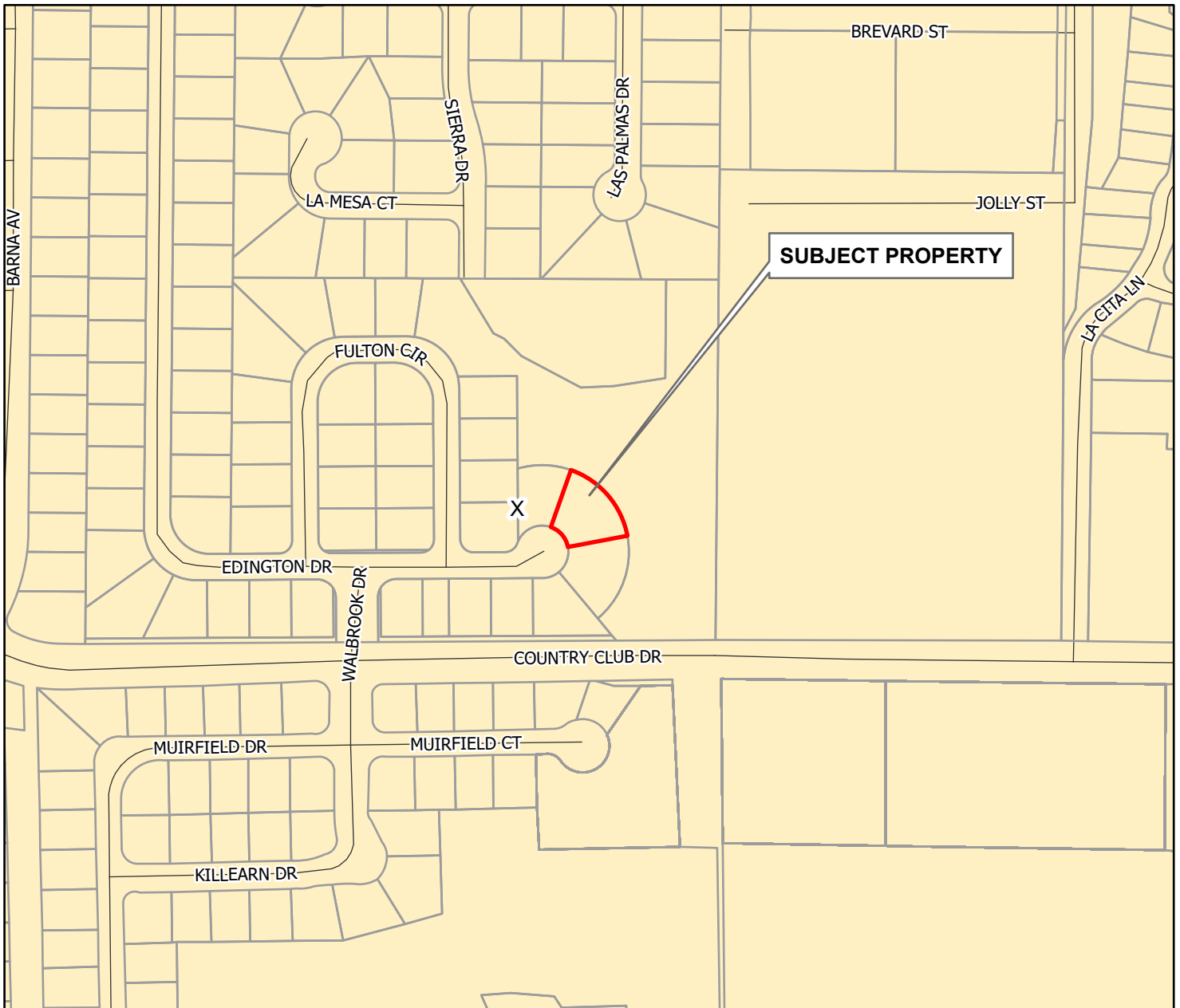


SUBJECT PROPERTY



Aerial 2024 VAR #10-2025





FEMA FLOOD HAZARD AREAS VAR #10-2025

Special Flood Hazard Area Zones

- A
- A0
- AE
- AO
- VE

Moderate Flood Hazard Area Zone

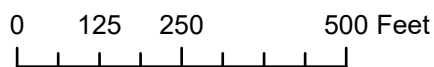
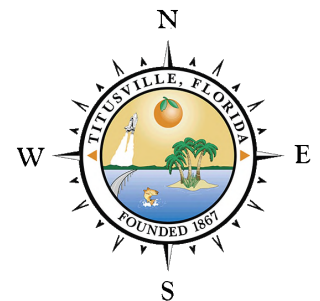
- X5

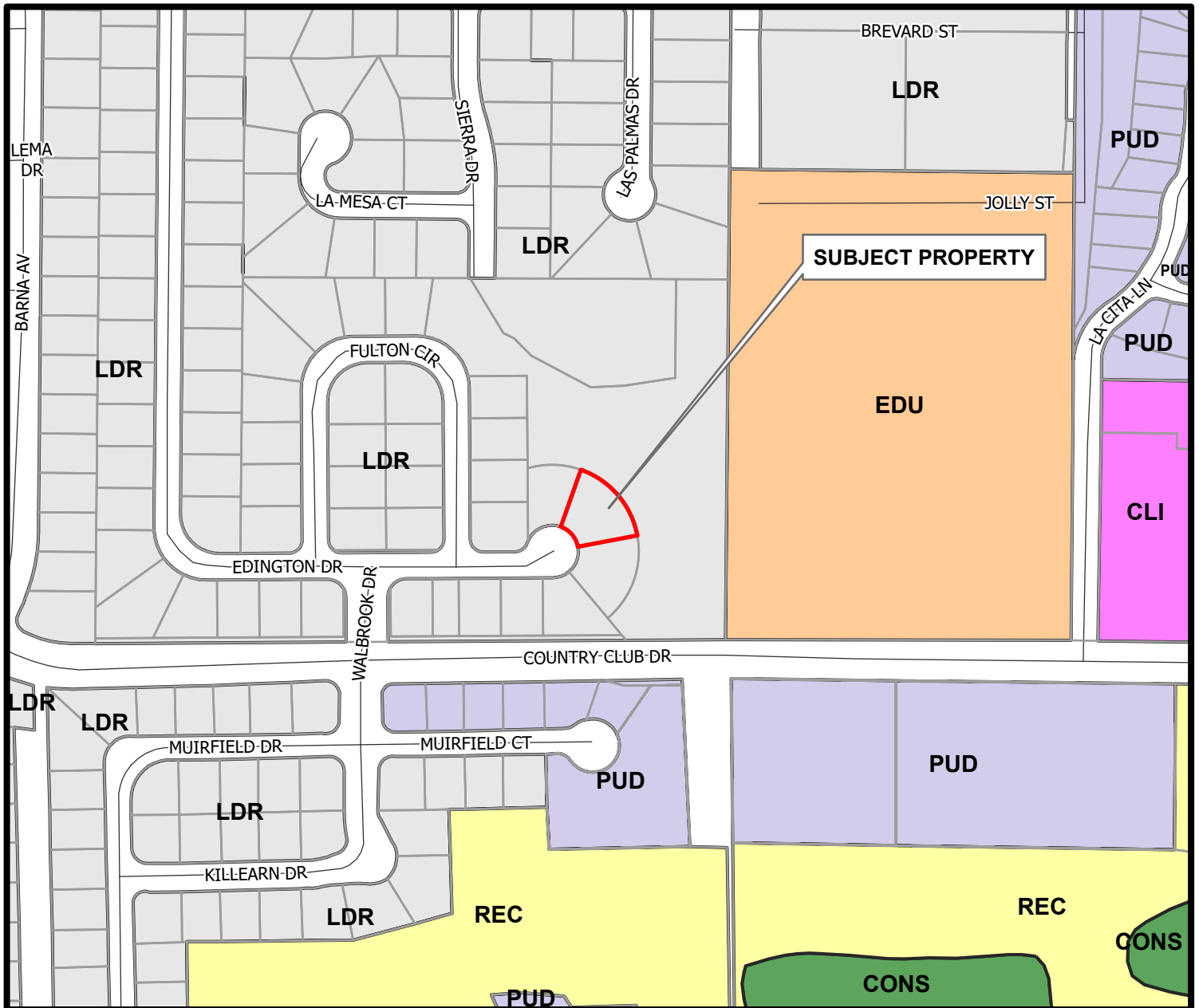
Minimal Flood Hazard Zones

- C
- X
- X.2 PCT

Other Flood Zone Areas

- D
- FW

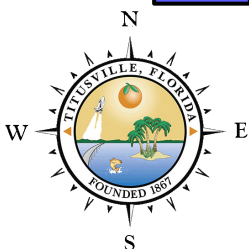




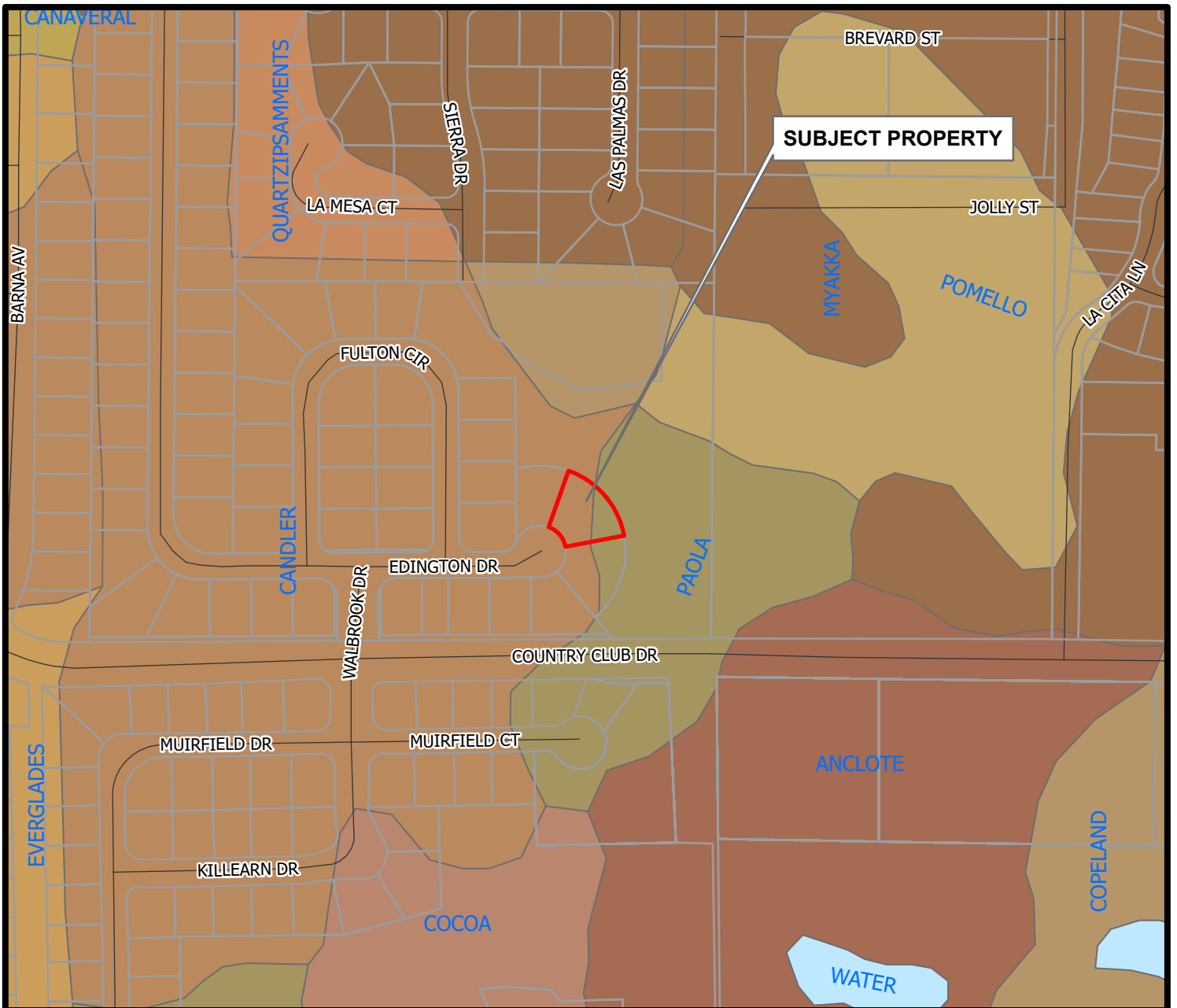
LOCATION OF PROPERTY AND FUTURE LAND USE MAP

CHI COMMERCIAL HIGH INTENSITY	ED EDUCATIONAL	PIP PLANNED INDUSTRIAL PARK	RES-2 RESIDENTIAL-2
CLI COMMERCIAL LOW INTENSITY	IND INDUSTRIAL	PSP PUBLIC/ SEMI-PUBLIC	RMU REGIONAL MIXED USE
CONS CONSERVATION	HDR HIGH-DENSITY RESIDENTIAL	PUD PLANNED UNIT DEVELOPMENT	SMU SHORELINE MIXED-USE
DMU DOWNTOWN MIXED-USE	MDR MEDIUM-DENSITY RESIDENTIAL	REC RECREATIONAL	UMU URBAN MIXED-USE
	LDR LOW-DENSITY RESIDENTIAL	RES-1 RESIDENTIAL-1	US1 US-1 CORRIDOR

Subject

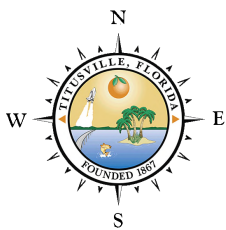


0 125 250 500 Feet



SOILS IN THE VICINITY OF SUBJECT PROPERTY VAR #10-2025

SoilName	EVERGLADES
ANCLOTE	MYAKKA
CANAVERAL	PAOLA
CANDLER	POMELLO
COCOA	QUARTZIPSAMMENTS
COPELAND	WATER

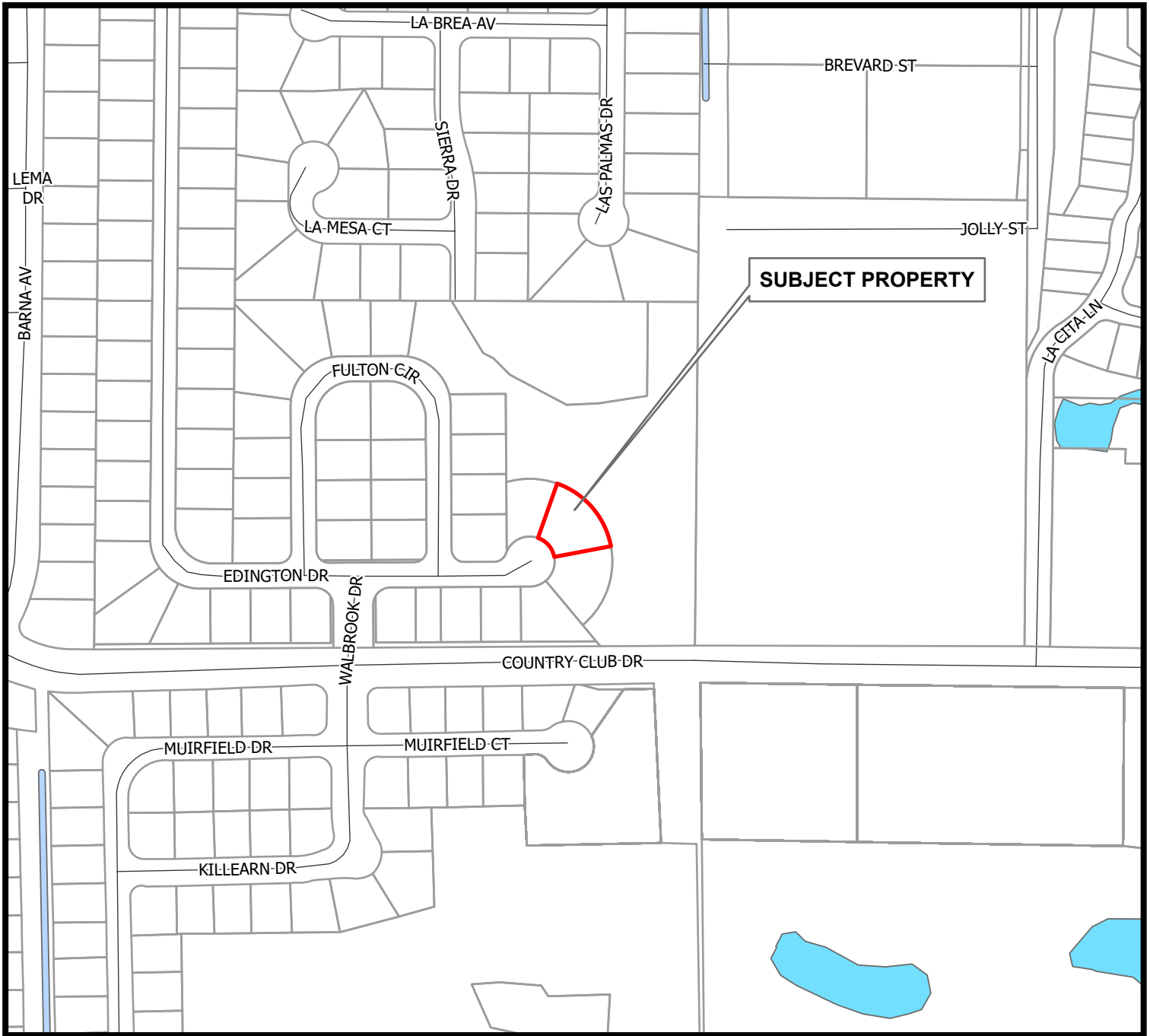


Community Development Department

0 125 250 500 Feet

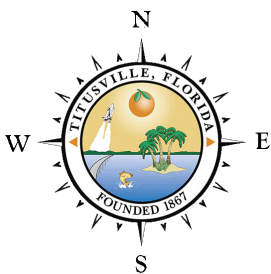
Soils data source: The U.S. Department of Agriculture, Natural Resources Conservation Service. (2019)

3/13/2025










WETLANDS IN VICINITY OF PROPERTY

VAR #10-2025



WETLAND_TY

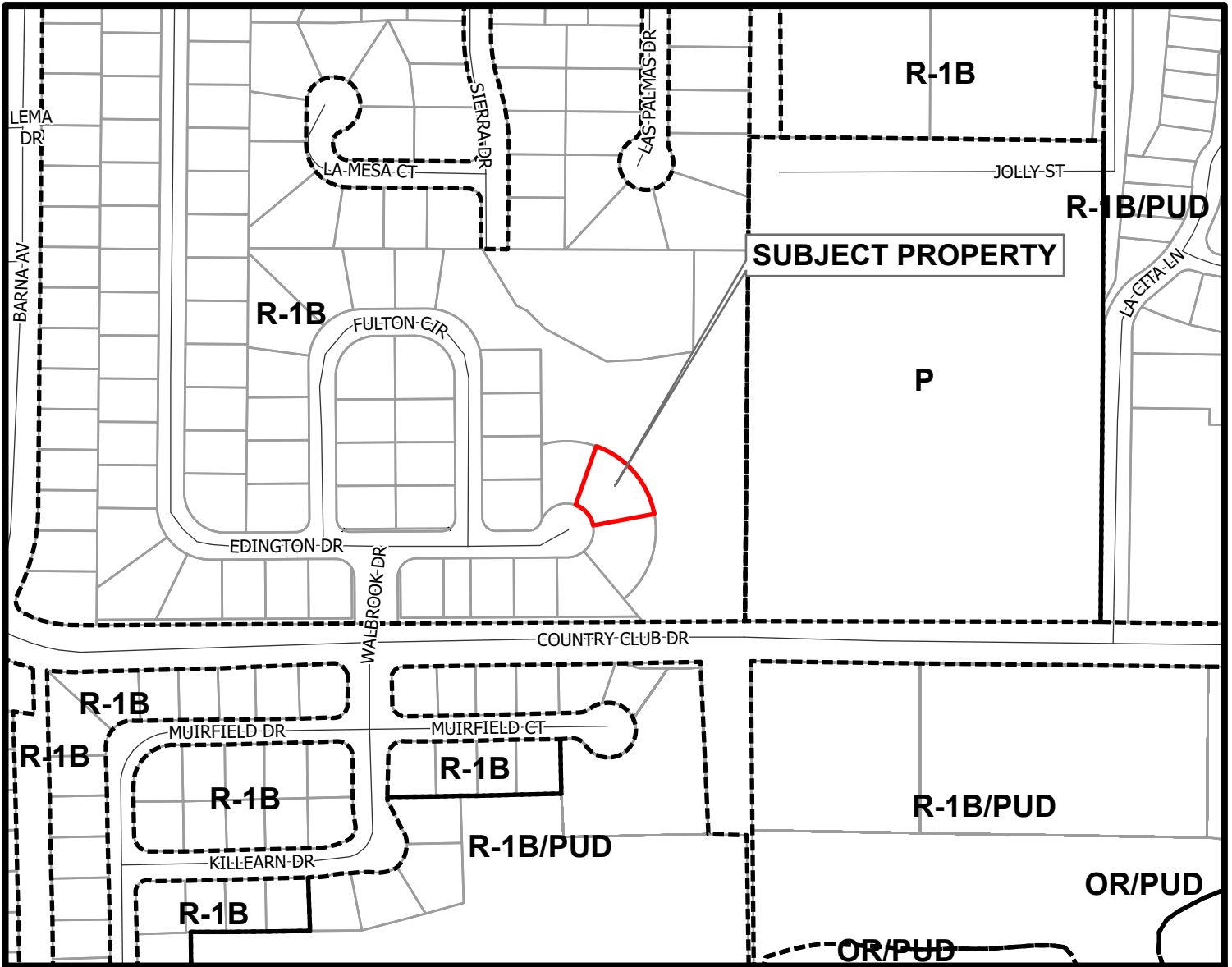
-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland

-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Riverine

3/13/2025

Scale:1:3,500

Community Development Department
Source: USFWS NWI (2023)



ZONING MAP

RESIDENTIAL DISTRICTS

- RE RESIDENTIAL ESTATES
- RR RURAL RESIDENTIAL
- R-1A SINGLE FAMILY, LOW DENSITY
- R-1B SINGLE FAMILY, MEDIUM DENSITY
- R-1C SINGLE FAMILY, HIGH DENSITY
- R-2 MULTIFAMILY, MEDIUM DENSITY
- R-3 MULTIFAMILY, HIGH DENSITY
- RMH-1 RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
- RMH-2 RESIDENTIAL MANUFACTURED HOUSING PARK

COMMERCIAL DISTRICTS

- HM HOSPITAL MEDICAL
- T TOURIST
- NC NEIGHBORHOOD COMMERCIAL
- CC COMMUNITY COMMERCIAL
- RC REGIONAL COMMERCIAL
- OP OFFICE PROFESSIONAL

SPECIAL DISTRICTS

- GU GENERAL USE
- OR OPEN SPACE AND RECREATION
- UMU URBAN MIXED USE
- SMU SHORELINE MIXED USE
- RHP RESIDENTIAL HISTORIC PRESERVATION
- RMU REGIONAL MIXED USE
- PD PLANNED DEVELOPMENT
- P PUBLIC
- UV URBAN VILLAGE
- DMU DOWNTOWN MIXED USE
- IRCN-R INDIAN RIVER CITY NEIGHBORHOOD RESIDENTIAL
- IRCN-C INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL

INDUSTRIAL DISTRICTS

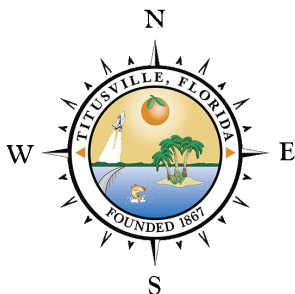
- M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2 HEAVY INDUSTRIAL
- M-3 HIGHWAY INDUSTRIAL INFILL
- PID PLANNED INDUSTRIAL DEVELOPMENT

OVERLAY DISTRICTS

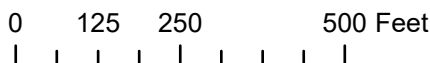
- TSA TITUSVILLE SHORELINE AREA
- AIA AIRPORT IMPACT AREA
- WCA WETLAND AND CONSERVATION AREA
- ACC AREA OF CRITICAL CONCERN
- HPA HISTORIC PRESERVATION AREA

Base Map

- City Limits
- Zoning
- Subject



VAR #10-2025



City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustments and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Variance 11-2025 - 3042 Edington Drive**
Department/Office: Planning

Recommended Action:

Consider the requested variance to allow artificial turf to be located within the front yard of a single-family lot for property located at 3042 Edington Drive.

Summary Explanation & Background:

The applicant is requesting a variance to Land Development Regulations, Chapter 30, Section 30-321. Plant Materials. Section 30-321(f) - To allow artificial turf to be located within the front yard of a single-family lot, for property located in the Single-Family Medium Density (R-1B) zoning district, at 3042 Edington Drive, Titusville, FL 32780, as submitted by Michael Boffo, trustee for The Michael A. and Nancy M. Boffo Trust, owner.

Alternatives:

1. Approve the variance -- Move to approve the request for a variance to allow artificial turf to be located within the front yard of a single-family lot.
2. Deny the variance -- Move to deny the request for a variance to allow artificial turf to be located within the front yard of a single-family lot. (Include reasoning for denial)

Item Budgeted:

N/A

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Variance 11-2025 Staff Report
2. Exhibit A
3. Application
4. Survey
5. Turf Specs
6. Ordinance 21-2025
7. All Maps VAR #11-2025



City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 11-2025, 3042 Edington Drive**

3 **Meeting Date:** July 23, 2025

4 **Prepared By:** Tabitha Armstrong, Planner

5 **Applicant:** Michael Boffo, trustee for The Michael A. and Nancy M. Boffo Trust, owner

6 **Background**

7 (a) Variance request: Land Development Regulations, Chapter 30, Section 30-321.
8 Plant Materials. Section 30-321(f) - *To allow artificial turf to be located within the*
9 *front yard of a single-family lot*, for property located in the Single-Family Medium
10 Density (R-1B) zoning district, at 3042 Edington Drive, Titusville, FL 32780, as
11 submitted by Michael Boffo, trustee for The Michael A. and Nancy M. Boffo Trust,
12 owner.

13 (b) Location: 3042 Edington Drive, Titusville, FL. Tax No. 2225060. Parcel I.D. 22-
14 35-16-09-E-7

15 (c) Land Description: COUNTRY CLUB ESTATES LOT 7 BLK E

16 (d) Future Land Use: Low Density Residential

17 (e) Zoning: Single Family Medium Density (R-1B)

18 (f) Surrounding Zoning Districts.

19 1. North: Single Family Medium Density (R-1B)

20 2. South: Single Family Medium Density (R-1B)

21 3. East: Single Family Medium Density (R-1B)

22 4. West: Single Family Medium Density (R-1B)

23 (g) Lot Characteristics: The subject property is approximately 0.3 acres (13,068 sq. ft)
24 with 53.01 feet of frontage along Edington Dr. These dimensions meet the

Board of Adjustments and Appeals: Variance No. 11-2025

1 minimum 7,500 sq. ft lot area for a single-family home within the Single-Family
2 Medium Density (R-1B) zoning district.

3 (h) Uses: Single Family Residence constructed in 2020.

4 **Powers of the BAA**

5 LDR Section 34-226 states that the Board shall grant a variance request when in the
6 opinion of the Board of Adjustments and Appeals, owing to special conditions, the
7 literal enforcement of such ordinance or regulations would do manifest injustice to, or
8 impose an unnecessary hardship upon the applicant. In order to authorize any variance
9 to the provisions of such ordinance, the Board must consider the following criteria:

10 (a) Special conditions and circumstances exist which are peculiar to the land,
11 structure, or building involved and which are not applicable to other lands,
12 structures or building in the same zoning.

13 (b) Special conditions and circumstances do not result from the actions of the
14 applicant.

15 (c) Granting the variance requested will not confer upon the applicant any special
16 privilege that is denied by the ordinance to other lands, buildings or structures in
17 the same zoning district.

18 (d) The literal interpretation of the provisions of the ordinance would deprive the
19 applicant of rights commonly enjoyed by other properties in the same zoning
20 district under the terms of the ordinance.

21 (e) The variance granted is the minimum variance that will make possible the
22 reasonable use of the land, building or structure.

23 (f) The granting of the variance will preserve the spirit of the ordinance and remain
24 in harmony with its general purpose and intent.

25 (g) In granting the variance, the public safety and welfare must be assured.

26 (h) In no case shall the granting of a variance result in a change of use, which would
27 not be permitted in that zone.

28 **Analysis**

29 The applicant is requesting a variance to allow artificial turf within the front yard of a
30 single-family residential property. Artificial turf has been installed along the northern
31 section of the lot, including portions of the front, side, and rear yards. The turf adjoins
32 the artificial turf installed on the neighboring property located at 3041 Edington Drive
33 (VAR#10-2025).

Board of Adjustments and Appeals: Variance No. 11-2025

1 The variance request pertains specifically to the portion of turf located within the
2 front yard, as illustrated in Exhibit A. Section 30-321(f) of the Land Development
3 Regulations (LDR), as amended by Ordinance 21-2025 on May 27, 2025, permits
4 artificial turf within the side and rear yards of single-family lots when concealed from
5 view from the adjacent right-of-way and in accordance with the standards of Section
6 30-325, “Artificial Turf.” According to LDR Section 37-1, the front yard is defined as
7 the space extending the full width of the lot between the principal structure and the
8 front lot line

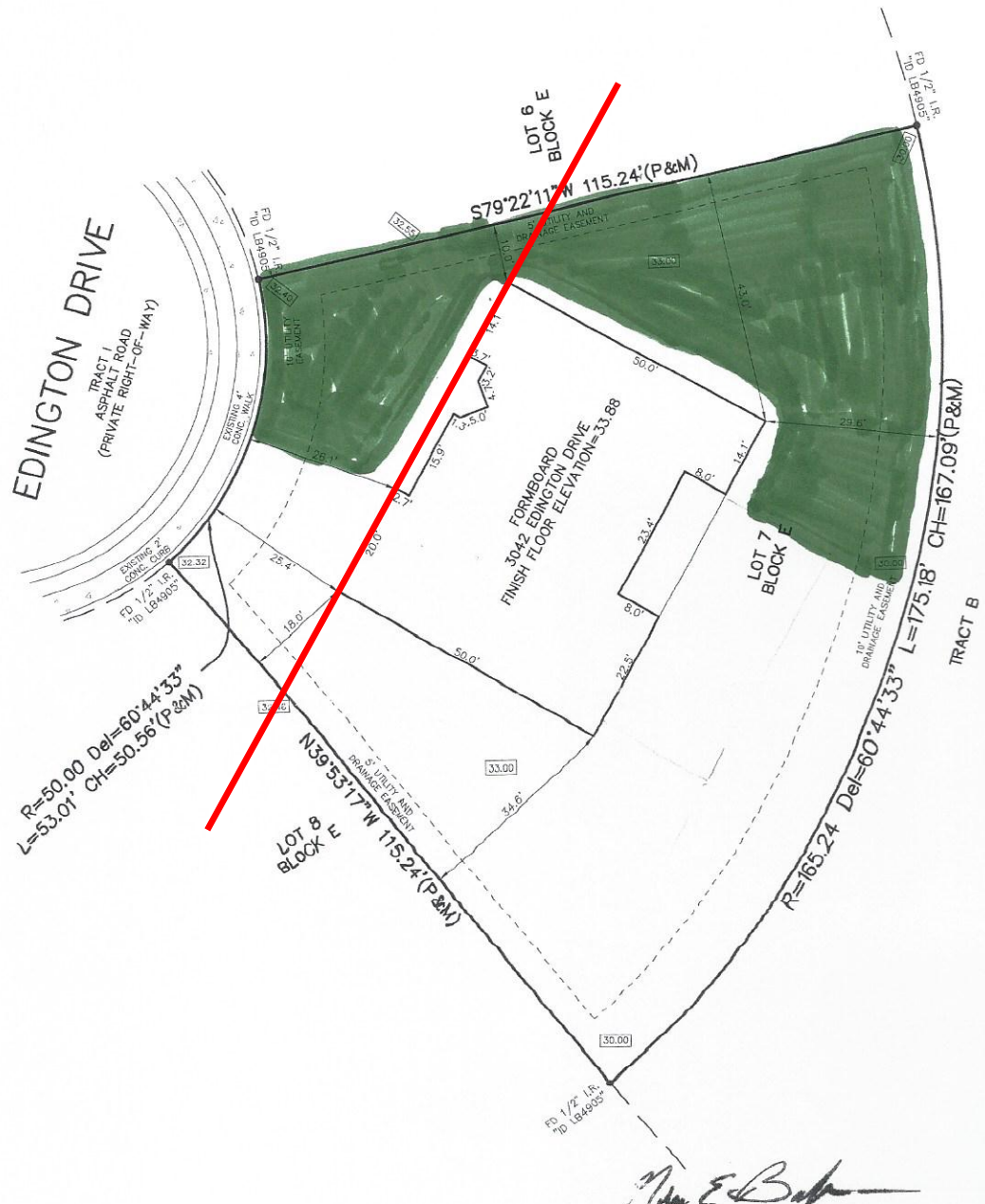
9 The applicant has submitted product specifications for the turf in use. Upon review,
10 staff has confirmed that the material meets all technical standards outlined in Section
11 30-325, including durability, permeability, and installation requirements. However,
12 the lot does not exhibit any special conditions or circumstances that would preclude
13 the use of natural landscaping materials in the front yard.

14 **Recommendation**

15 Staff recommend **denial** of the variance. There are no special conditions or
16 circumstances which are peculiar to the land that would make it different from similar
17 lots in the subdivision. Denying the request will not deprive the applicant of rights
18 commonly enjoyed by other properties.

BOUNDARY SURVEY OF:
 LOT 7, BLOCK E AS SHOWN ON THE PLAT OF COUNTRY CLUB ESTATES
 AS RECORDED IN PLAT BOOK 60, PAGES 25-27 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

Exhibit A



NOTE:
 [XXX.XX] = PROPOSED ELEVATION

PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE
 MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085
 CERTIFICATE OF AUTHORIZATION LB. 6586

LEGEND	
(AKA)	= ALSO KNOWN AS
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C.B.	= CONCRETE BLOCK
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SURVEYOR'S NOTES:
 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF N.79°22'11"E., ALONG THE SOUTH LINE OF LOT 6, BLOCK E.
 2) AS PER FLOOD INSURANCE RATE MAP NO.12009G 0205 G, INDEX DATED 03-17-2014, THE ABOVE DESCRIBED PROPERTY LIES IN ZONE X.
 3) THIS SURVEY WAS PREPARED FROM TITLE INFORMATION PROVIDED TO THE SURVEYOR. THERE MAY BE ADDITIONAL RESTRICTIONS OR EASEMENTS THAT AFFECT THE PROPERTY.
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 6) NOT VALID WITHOUT SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

TYPE OF SURVEY:
FORMBOARD
 PROJECT:
 19-1556
 SCALE: 1" = 20'
 DATE: 08/21/2019
 CAD FILE: 19-1556.DWG
 F.B. NUMBER:
 REVISION:

PRECISION
LAND SURVEYING, INC.
 2900 LAKE WASHINGTON ROAD, SUITE 1
 MELBOURNE, FLORIDA 32935
 PHONE: 321-259-4600
 EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:
DAMAR HOMES, INC



Gateway to Nature & Space



APPLICATION FOR VARIANCE

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.

1. Project Location	Property Address/Location Description 3042 Edington Drive		
2. Applicant/ Owner	Name of Applicant/Contact Michael Boffo		Name of Owner The Michael A. and Nancy M. Boffo Trust
	Street Address 3042 Edington Drive		Street Address 3042 Edington Drive
	City	State	Zip
	Titusville	Florid	32780
	Telephone # 321-693-7204		Telephone # 321-693-7204
	Fax #		Fax #
	E-Mail Address mike.a.boffo@Gmail.com		E-Mail Address mike.a.boffo@Gmail.com
3. Applicant Status	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Agent <input type="checkbox"/> Other		
4. Parcel ID	22 3516-09-E-7	Tax Acct.	2225060
5. Site Size	Acres: .261	Square Feet: 11377	
6. Property Information	Current Zoning single family residence		Current Use of Property single family residence
7. Variance(s) Requested	<i>Section Number</i>	<i>LDR Requirement</i>	<i>Variance Requested</i>
	1) 30-21F	1) natural vegetation	1) artificial turf
	2) _____	2) _____	2) _____
	3) _____	3) _____	3) _____
	4) _____	4) _____	4) _____
	5) _____	5) _____	5) _____
8. Narrative	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application) Acceptance of artificial turf installation		

- **All applications shall require Community Development staff review prior to submittal.**
- All applications shall be submitted to the Department electronically and officially logged in by **end of business day**.
- Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information and fees are submitted. Meeting dates for incomplete applications will not be set until all required information and fees are submitted.
- Petitions requiring review from other boards or commissions prior to being forwarded to the Board of Adjustments and Appeals (BAA) are not guaranteed placement on the BAA schedule available on the City's website.

ACKNOWLEDGEMENT

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the City Council, Board of Adjustment & Appeals, and Planning & Zoning Commission on this topic to properly noticed public hearings or to written communication to the City Clerk's Office, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/ Michael A. Boffo
(Signature*)

3/10/2025
(Date)

** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.*

Date received: _____

Accepted by _____

Grounds For Granting A Variance

Section 31-51 of the Land Development Regulations of the City of Titusville empowers the Board of Adjustments and Appeals to grant variances to the requirements of the Land Development Regulations and certain other codes and/or ordinances. The Board may grant a variance if, in their opinion, the strict enforcement of these rules would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district. In granting a variance, the Board must consider whether or not the applicant's particular situation meets a certain set of criteria established in Section 34-226 of the Land Development Regulations. These criteria are as follows:

- (a) Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
- (b) Special conditions and circumstances do not result from the actions of the applicant.
- (c) Granting the variance requested will not confer upon the applicant any special privilege that is denied by the ordinance to other lands, buildings or structures in the same zoning district.
- (d) The literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance.
- (e) The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
- (f) The granting of the variance will preserve the spirit of the ordinance and remain in harmony with its general purpose and intent.
- (g) In granting the variance, the public safety and welfare must be assured.
- (h) In no case shall the granting of a variance result in a change of use which would not be permitted in that zoning district.

Variance Justification

In answering the questions below, please be as specific as possible. Your answers will help the Board of Adjustments and Appeals and City staff to properly evaluate your variance request.
(Please attach a separate sheet if necessary)

1. Why are you unable to comply with the requirements? What hardship or injustice are you claiming?

Our property was initially landscaped by the builder, Damar Homes, with low-quality, planter drip line irrigation and a weak grass mixture dominated by weeds and bare spots. The sandy soil composition and lack of proper irrigation prevented healthy grass growth, requiring excessive watering and chemical treatments just to maintain a level of curb appeal. The drip lines would get clogged, cut up by mowing, break and cause leaks often. All the homeowners in our development have had the same irrigation and lawn issues and have gone through revitalization to remedy the issues as well – full lawn replacements, irrigation systems, etc. In addition, our property also had low-lying areas that retained water, leading to poor drainage, erosion, and standing water after rainstorms. These conditions contributed to persistent issues, including fungus growth, bug infestations, and weed spread. Like all of our neighbors, we opted to remedy the problem with a long-term solution to the irresponsible builder practices. We researched the use of artificial turf for landscaping and the appeal was that modern permeable turf provides substantial environmental and aesthetic benefits. By replacing the struggling grass with a properly installed, permeable artificial turf system, we can ensure long-term sustainability, effective drainage, and improved aesthetics while eliminating the need for excessive irrigation and chemical treatments.

2. What is special about your property that would justify treating it differently than most other properties? (Examples of important special conditions include: narrow or odd shaped lot; excessive slope of land; soil or drainage limitations; unusual location of existing buildings on the lot; etc.) If the special conditions involve an existing building or structure, when was it built and are you the original owner?

Our property is a corner lot with adjoining front and back yard to our neighbor. We had unique environmental challenges, including poor drainage, sandy soil, and uneven terrain that made traditional grass unsustainable. Our yard struggled with standing water in low areas, leading to erosion and poor plant health. We've had to remove and replant trees and shrubs. For the lawn, traditional sod patches have repeatedly failed in these conditions, requiring constant reseeding/planting. Irrigation repairs were costly just to maintain a patchy and inconsistent lawn.

To address this, we worked with a professional landscaper who was familiar with what Damar Homes had landscaped and irrigated in the community. He was familiar with Titusville water standards, as well as our neighborhood having a poor reclaim irrigation water source that is not dependable. Being on sewer, it is definitely not logical to utilize city water based on costs for thousands of gallons of water a year; we know a few neighbors who pay \$600+ a month on water lawn maintenance. The landscaper we hired followed best practices for artificial turf installation, ensuring proper drainage, water permeability, and eco-friendly landscaping.

The installation process included:

- **Excavation of the existing soil** to remove weak builder-grade grass and weeds and irrigation.
- **Installation of a 5–6-inch permeable base layer** using crushed stone and gravel for proper drainage.
- **Use of a high-quality, permeable artificial turf** designed with a UV rating to withstand the Florida heat, designed to allow rainwater to filter through, preventing runoff and promoting groundwater recharge and suitable to withstand use for play and for high traffic.
- **Use of eco-friendly materials safe for pets and children-** grass utilizing non-toxic, antimicrobial, impact absorbing and reusable infill. Prevents mold and bacteria, odorless, deters against stains and product deterioration. The grass is cool to the touch and won't degrade with Florida's heat.
- **Integration of Florida-native plants and pollinator-friendly landscaping** to encourage biodiversity and provide a sanctuary for birds, butterflies, and beneficial insects.
- **Avoidance of pesticides and fertilizers**, maintaining chemical-free, eco-conscious year round

3. **Is your variance request the minimum change from the requirements that you need to overcome your hardship? Explain your answer. (For example, suppose you are requesting a 5 foot variance to the side yard setback requirement in order to build a single car garage 15 feet wide. Your request would not be the minimum since a single car garage 11 feet wide would be adequate and would only require a 1 foot variance.)**

Yes, this request is the minimum necessary to resolve the specific challenges our property faces. We are not seeking broad exemptions from landscaping codes—only the ability to keep the use of an alternative, eco-friendly solution that effectively addresses drainage, erosion, and costly maintenance concerns. In addition, it helps bring value to the home and the neighborhood.

The artificial turf installed is **not a solid, non-permeable surface** but a professionally designed **water-draining system** that works in harmony with our natural landscaping. Without this solution, we would be forced to revert to an unsustainable approach with removal and then replacement requiring constant irrigation, soil amendments, and chemical treatments to maintain a traditional lawn.

Additionally, the artificial turf seamlessly integrates with the rest of our landscape, complementing the Florida-native plants and greenery we have added with the neighborhood aesthetics. This ensures a natural, attractive, and functional outdoor space that contributes positively to our gated community.

4. **Explain why approval of your variance request would not likely result in harm to your neighbor's properties or to the general public.**

Granting this variance will have **no negative impact** on neighboring properties or the public. Our neighbors from throughout the development have all commented how beautifully maintained our yard and landscaping looks as we have it trimmed and pruned regularly. Our approach balances **aesthetic appeal, environmental responsibility, and practical functionality**, making it a model for sustainable residential landscaping. The careful planning, professional installation, and ecological considerations taken in this project ensure that the artificial turf enhances rather than detracts from the surrounding environment.

It enhances the neighborhood in several ways:

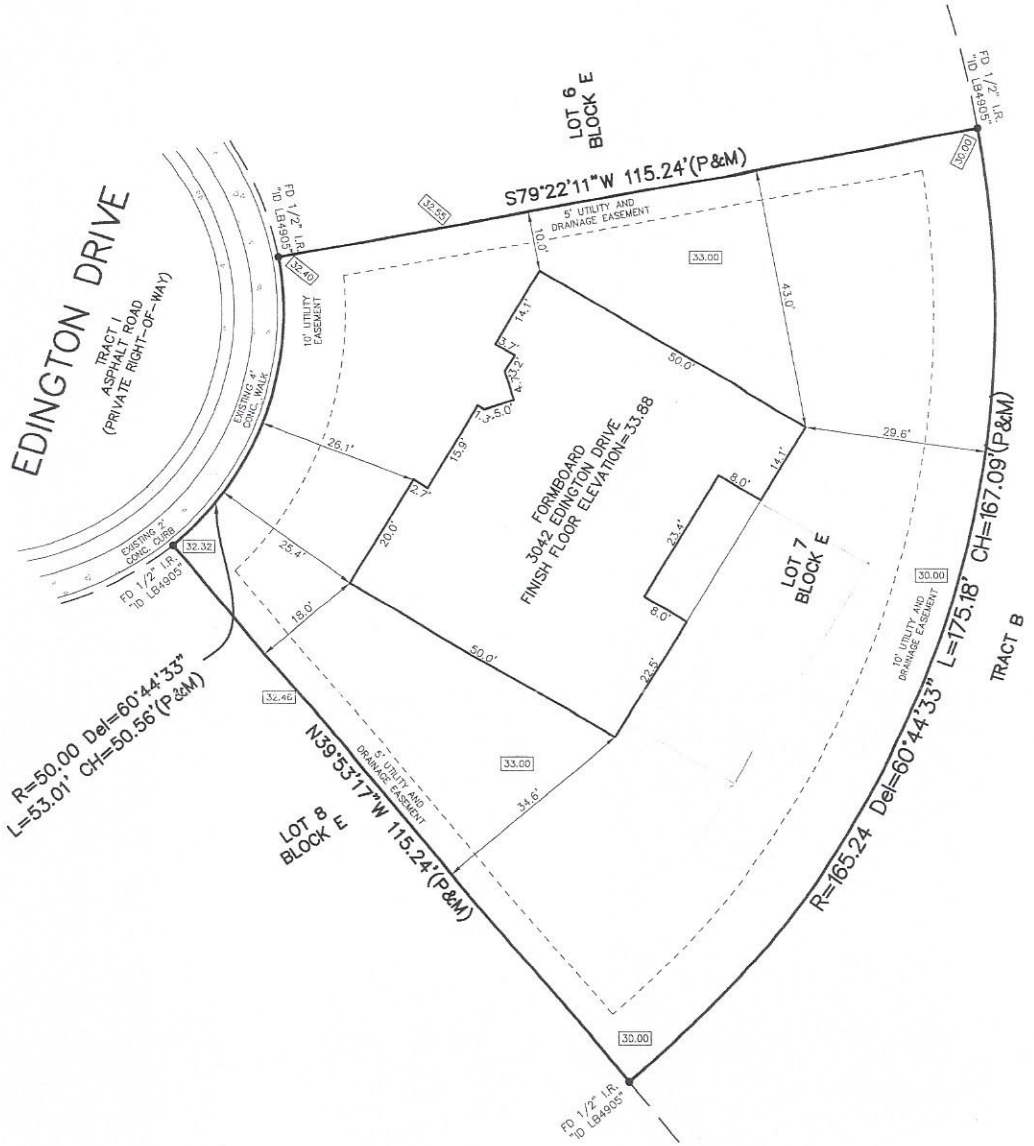
- **Improved drainage and erosion control:** The permeable artificial turf prevents water pooling, reducing runoff onto neighboring properties and minimizing erosion concerns.
- **Beautification and curb appeal:** A consistently green, well-maintained yard adds to the overall attractiveness of the community, increasing property values.
- **Eco-friendly landscaping:** By incorporating native plants and avoiding harmful pesticides and fertilizers, our yard supports local wildlife, promotes pollination, and contributes to a healthier ecosystem.
- **Reduced mosquito breeding grounds:** Eliminating standing water in low-lying areas reduces the risk of mosquito infestations, benefiting the entire neighborhood.

The use of permeable artificial turf aligns with Florida's "**Florida-Friendly Landscaping**" principles, which encourage water conservation, pollution reduction, and minimal chemical use. Cities such as Tampa, Orlando and the Palm Beach area allow for turf as a conscious landscape practice. **State-level environmental goals** support sustainable landscaping solutions like permeable turf, particularly in areas affected by water conservation issues, such as Florida.

Granting this variance, when strict adherence to zoning ordinances results in hardship without significantly affecting the public interest. We stress that allowing artificial turf—especially permeable versions—does not undermine the city's broader environmental goals, but rather enhances them by promoting water conservation, reducing pesticide use, and supporting eco-friendly landscaping

BOUNDARY SURVEY OF:

LOT 7, BLOCK E AS SHOWN ON THE PLAT OF COUNTRY CLUB ESTATES
AS RECORDED IN PLAT BOOK 60, PAGES 25-27 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



Myron E. Barker
PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE

MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085
CERTIFICATE OF AUTHORIZATION LB. 6586

NOTE:

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- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF N.79°22'11"E., ALONG THE SOUTH LINE OF LOT 6, BLOCK E.
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TYPE OF SURVEY:
FORMBOARD

PROJECT: _____
 19-1556
 SCALE: 1" = 20'
 DATE: 08/21/2019
 CAD FILE: 19-1556.DWG
 F.B. NUMBER: _____
 REVISION: _____

PRECISION
LAND SURVEYING, INC.
 2900 LAKE WASHINGTON ROAD, SUITE 1
 MELBOURNE, FLORIDA 32935
 PHONE: 321-259-4600
 EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:
DAMAR HOMES, INC

PRECISION LAND SURVEYING, INC. 19-1556 August 21, 2019 3:35:40



CLIENT:

Company:	Turf Distributors
Address:	42505 Rionedo Road
	Temecula, CA 92590
Requested By:	Dillon Georgian

TEST MATERIAL:

Date Material Received:	February 8, 2021
Material Type:	Synthetic Turf
Material Condition:	Excellent, New
Material ID:	Flow 75
Infill:	16 Grit Sand, to ¾" exposed tuft

TESTING METHODS REQUESTED:

<i>Testing Services Inc. was instructed by the client to test for the following...</i>		
Standard:	ASTM F1551	Test Method: Standard Test Methods for Comprehensive Characterization of Synthetic Turf Playing Surfaces and Materials: Suffix-DIN 18-035, Part 6: Water Permeability of Synthetic Turf Systems and Permeable Bases

SAMPLING PLAN:

Sampling Date:	2/8/2021
<ul style="list-style-type: none"> Specimen sampling is performed in the sampling department at TSI. The sampling size of specimens is determined by the test method requirements. In the event a specific sampling size is not called for, a determination will be made based on previous testing experience, and approved for use by an authorized manager. All samples are subjected to the outside environmental conditions of temperature and relative humidity. Sample requiring pre-determined exposure to specified environmental conditions based on a specific test method, take place in the departments in which they are tested 	

DEVIATION FROM TEST METHOD:

State reason for any Deviation from, Additions to, or Exclusions From Test Method.	
None	

PROCEDURE:

This test method determines the rainfall drainage capacity (permeability) of the playing surface. Test data values represent drainage rates vertically thru the turf with infill listed above, and do not take into account the percolation properties of a pad and/or an underlying sub base. Three specimens, 11.5" diameter, were cut from the 15' turf roll, side-center-side manner. Each turf specimen was securely fastened to the permeability tube using mechanical flanges, ensuring vertical water flow thru the product. Water was pumped into the tube faster than could exit, until the water level reached 6". The water source was shut off, allowing the accumulated 6" water level to recede. The recede was timed via stopwatch until the water level exited the turf. The flow time was recorded in seconds. This procedure was repeated a total of 4 times where, the first pass was for conditioning, with passes 2,3,4 used for averaging. This process was repeated on the remaining specimens.

TEST SUMMARY:

Specimen #	Drainage (Seconds)	gal/min/yd ²	Rainfall Capacity (inches/hour)
1	21.5	94.0	288.3
2	17.3	116.8	358.2
3	17.8	113.3	347.5
Average			331.3 inches/hour

Uncertainty:

We undertake all assignments for our clients on a best effort basis. Our findings and judgments are based on the information to us using the latest test methods available.

TSI can only ensure the test results for the specific items tested.

Unless otherwise noted in the deviations sections of this report, all tests are performed in compliance with stated test method.

Test Report Approval:

Erle Miles, III, Lab Director Testing Services (TSI) LLC

TSI Accreditation: Our laboratory is accredited by the US Dept. of Commerce, National Institute of Standards and Technology: ISO/IEC 17025:2005. Our code # is: NVLAP 100108-0. TSI is an Organizational Member of ASTM (American Society for Testing and Materials). TSI is a certified independent testing laboratory by the STC (Synthetic Turf Council).



Testing Services (TSI) LLC
817 Showalter Avenue
PO Box 1343
Dalton, GA 30721

DETAILED SPECIFICATION SHEET

FLOW 75 OLIVE >>



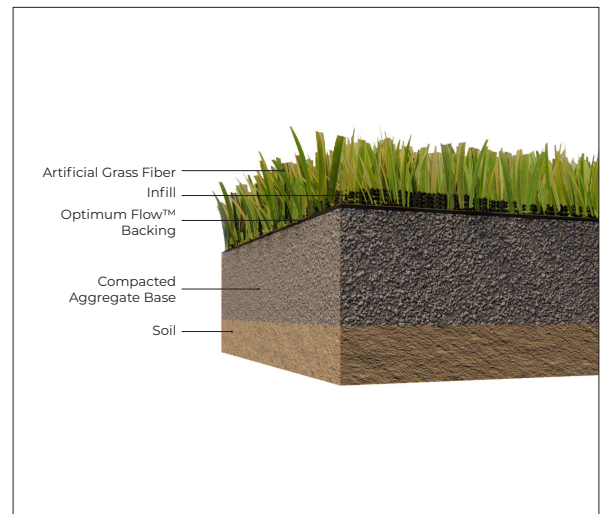
Recommended Uses

- Landscape
- Commercial
- Play Areas
- Pets

Flow 75 Olive is equipped with Optimum Flow™ technology for exceptional drainage. This is our preferred product for pet applications due to its permeability and slightly stiffer blade structure, which makes cleaning a breeze. Flow 75 Olive is also perfect for landscape, putting fringe, and anywhere else a medium density product is needed.

Yarn Type	UV Polyethylene - W Shape
Denier	10800 / 4400
Approximate Pile Height	1.5 in.
Machine Gauge	3/8 inch
Roll Size	15 x 100 linear feet
Approximate Infill Amount	1.0 lb / psf
Primary Backing	Optimum Flow™
Total Product Weight	83.66 oz/yd ²
Pile Yarn Weight	49.20 oz/yd ²
Average Tuft Bind Strength	10.8 lbs/force
Total Lead Content	<0.5 mg/Kg
Pill Flammability	8 out of 8 Pass
Water Permeability	331.3 in/hr
QUV Accelerated Weathering	Color: 9 / Texture: 10

- 16 Year Warranty
- Optimum Flow™ Technology
- Made in the U.S.A.



VistaPet™

16-Year Product Warranty 



dura**blade**™

 PFAS FREE



Recommended Uses

- Pets & Kids
- High Traffic
- Living Spaces

VistaPet™ is engineered to meet the specific needs of pet owners, providing a safe, durable, and easy-to-maintain solution. Our turf stands out due to its innovative features and high-quality construction, making it the ideal choice for any pet-friendly environment

Yarn Type	DuraBlade™ - Wave Blade
Denier	11,337
Pile Height	~1.125"
Machine Gauge	3/8"
Roll Size	15' x 100'
Primary Backing	TriFlow Backing™
Product Weight	~90 oz
Pile Yarn Weight	~59oz
Average Tuft Bind Strength	3.0 lbs of force
Total Lead Content	0.66 ppm
Pill Flammability	8 Out of 8 Pass
Water Permeability	88" per Hour

VistaScape™
VistaPet



Stock VistaPet and Boost Your Sales!

The Ultimate Paw Perfect Turf

VistaPet is a premium, high-quality turf solution specifically designed for pet-friendly environments. Its unique features, superior durability, and exceptional safety make it a standout product that provides unmatched value for pet owners.

Benefits for Pet Owners



Easy Cleanup

High Flow Rate

The high flow rate helps wash away messes quickly, ensuring the turf remains hygienic and odor-free.

Moisture-Wicking Properties

Keeps the surface dry, preventing odors and maintaining a comfortable environment for pets.

Durability

Withstands Heavy Use

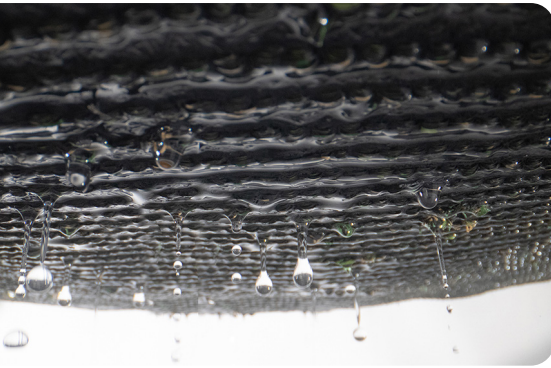
Designed to handle the demands of active pets, providing a reliable and long-lasting solution.

Safety First

PFAS Free & Lead Free

Ensures a safe play area for pets and children, offering peace of mind to pet owners.

Key Features of VistaPet



TriFlow Backing™

Three-Layer Backing System

1. **Strong Woven Polypropylene Base:** The bottom layer is made from durable polypropylene, ensuring your grass stays strong and stable, even under heavy use.
2. **Flexible Non-Woven Polypropylene:** The middle layer enhances the structural strength of your turf while maintaining excellent permeability and flexibility. This ensures robust support without compromising water flow.
3. **Clear, Thin but Robust Coating:** The top layer features a clear coating that helps bind the artificial grass fibers in place, adds to the overall strength of the backing, and still allows water to flow through easily, ensuring your lawn remains dry and safe even after heavy rainfall.



Excellent Drainage

Quickly channels water away to keep the turf dry and ready to use.

Long-Lasting Durability

Built to withstand wear & tear, ensuring it remains beautiful and resilient for years.

Superior Fiber Binding

The clear coating ensures that grass fibers are securely held in place, enhancing overall stability and longevity.

DuraBlade™ Technology

Robust Construction

Ensures the blades remain strong & resilient, providing long-lasting performance.

Aesthetic Appeal

Mimics the look and feel of natural grass, enhancing any outdoor area.



Pet & Child Safe

PFAS Free & Lead Free

Guarantees a safe environment for pets and children.

Safe for Pets & Children

Parents can be confident that their children can play on the turf without exposure to harmful substances.



Total Weight
~91 oz.



Face Weight
~64 oz.



Pile Height
1.125"



Warranty
16-Years



Join Us Today!

Stock VistaPet and Provide Your Customers with the Best in Pet-Friendly Artificial Turf.

(951) 384-6540

info@turfdistributors.com

www.turfdistributors.com

ORDINANCE NO. 21-2025

AN ORDINANCE OF THE CITY OF TITUSVILLE, FLORIDA AMENDING THE CODE OF ORDINANCES TO PROVIDE STANDARDS REGULATING THE USE OF ARTIFICIAL TURF BY AMENDING SECTIONS 30-202 “STORMWATER MANAGEMENT PERMIT”, 30-321 “PLANT MATERIALS”, 30-323 “EXISTING VEGETATION”, AND 37-1 “DEFINITIONS”, AND CREATING SECTION 30-325 “ARTIFICIAL TURF”; PROVIDING FOR SEVERABILITY, REPEAL OF CONFLICTING ORDINANCES, INCORPORATION INTO THE CODE AND AN EFFECTIVE DATE.

WHEREAS, Artificial vegetation, such as artificial grass, negatively impacts the environment due to its non-biodegradable plastic composition, which contributes to landfill waste, microplastic pollution, and harmful chemical releases during manufacturing and disposal; additionally, the production process itself is energy-intensive, generating significant greenhouse gas emissions while displacing natural vegetation that absorbs carbon dioxide.

WHEREAS, Artificial surfaces replace natural vegetation, reducing habitat for insects and other wildlife as well as hindering water infiltration into the soil negatively affecting groundwater supplies and disrupting soil ecosystems.

WHEREAS, According to the University of Plymouth, Plymouth United Kingdom artificial grass has the following negative impacts:

- does not provide any food for living creatures. It restricts access to the soil beneath for burrowing insects and to the ground above for soil dwellers such as worms.
- restricts access to natural materials like leaf litter and grass clippings – essential for feeding soil organisms like worms and microscopic animals and keeping the soil healthy.
- reaches significantly greater temperatures than those reached by natural grass under the same weather conditions. Plastic lawns can overheat in hot weather making them unusable.
- Artificial grass can contribute to global warming by absorbing significantly more radiation than living grass and, to a lesser extent, by displacing living plants that could remove carbon dioxide through photosynthesis.
- Reduces the amount of rainfall entering the soil negatively affecting soil health and groundwater supplies. Additional stormwater runoff is also created, increasing the potential for flooding and negative impacts to receiving water bodies

WHEREAS, the City Council has become aware of the increased use of artificial turf based upon variances granted by the Board of Adjustments and Appeals; and

WHEREAS, the City Council desires to provide guidelines for the use of artificial turf within the City.

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF TITUSVILLE, FLORIDA as follows:

SECTION 1: Recitals. The foregoing recitals are deemed true and correct and are hereby adopted and incorporated herein by this reference.

SECTION 2: That Chapter 30 “Development Standards”, Article III “Improvements”, Division 6 “Stormwater Management and Aquifer Protection”, Subdivision 1 “Stormwater Management and Erosion Control”, Section 30-202 “Stormwater management permit” of the Code of Ordinances of the City of Titusville is hereby amended to read as follows:

Sec. 30-202. Stormwater management permit.

- (a) The following activities alter or disrupt existing stormwater runoff patterns or affect aquifer recharge areas and will require a permit prior to the initiation of any project except as exempted in Section 30-203.
- (1) Filling, clearing and/or drainage of land as an adjunct to construction.
 - (2) Clearing, filling and/or draining of nonagricultural land for agricultural purposes.
 - (3) Converting agricultural lands to nonagricultural uses.
 - (4) Subdividing land.
 - (5) Replatting recorded subdivisions and the development of recorded and unrecorded subdivisions.
 - (6) Changing the use of land and/or the construction of a structure including the construction of parking areas or impervious surfaces or a change in the size of one (1) or more structures.
 - (7) Altering the shoreline or bank of any surface water body.
 - (8) Altering of any ditches, dikes, terraces, berms, swales, or other water management facility.
 - (9) Removal of earth or moving of earth on a parcel. For all activities that require a permit.
 - (10) Construction or size modification of a structure including parking areas or impervious surfaces, including artificial turf.
 - (11) Site and subdivision development requiring City approval of all new construction including buildings, parking, new impervious area accessory structures.
- (b) Site and subdivision development requiring city approval all new construction including buildings, parking, new impervious areas (including artificial turf), accessory structures, etc.

SECTION 3: That Chapter 30 “Development Standards”, Article III “Improvements”, Division 10 “Landscaping”, Subdivision 2 “Landscape Materials”, Section 30-321 “Plant Materials” of the Code of Ordinances of the City of Titusville is hereby amended to read as follows:

Sec. 30-321. Plant materials.

- (a) *Quality:* Plant material used in conformance with the provisions of this article shall be good, healthy and sturdy plants. All plant material shall be Florida #1 grade or better. Plant materials which are known to be intolerant of paving environments or whose physical characteristics may be injurious to the public or which produce a quantity and/or quality of debris so as to present maintenance difficulties shall not be specified for use under this article.
- (b) *Native vegetation:* The applicant is encouraged to utilize plant material native to Brevard County in meeting these landscaping requirements. The existing vegetation that is native to Brevard County with the exception of that listed in Section 30-4(d) shall be preserved and utilized except when removal is justified and determined to be acceptable by the enforcement official (see Landscape Technical Manual).
- (c) *Ground cover:* Ground covers, other than grass, shall be planted in such a manner so as to present a finished appearance and reasonably complete coverage within six (6) months after planting (see Landscape Technical Manual).
- (d) *Lawn grass:* Grass areas shall be planted in species normally grown as permanent lawns in Brevard County. Seeding and sprigging may be used if grass cover is complete within six (6) months, or sodding will be required (see Landscape Technical Manual).
- (e) *Hedges:* Hedges, where required, shall be planted in sufficient number and maintained so as to form a continuous, unbroken, solid screen within a maximum of six (6) months after time of planting (see Landscape Technical Manual).
- (f) *Synthetic plants prohibited:* Synthetic or artificial material in the form of trees, shrubs, ground covers or vines are prohibited in landscaping and yards. Artificial turf shall not be used in lieu of the plant requirements in this section. Synthetic or artificial turf may only be used on single family lots. Synthetic or artificial turf may be placed in side or rear yards of single family lots when concealed from view from the adjacent right-of-way and consistent with the requirements of Section 30-325 “Artificial Turf”.
- (g) *[Overstory trees:]* Overstory trees shall be species having an average mature spread of crown of greater than twenty (20) feet and reach a mature height of at least sixty (60) feet, and having a trunk which can be maintained in a clean condition with over five (5) feet of clear wood (no branches). Trees, including palms, having an average mature spread of crown less than twenty (20) feet may be arranged in groupings so as to create the equivalent of twenty-foot crown spread and shall count as one (1) required tree. Invasives shall not be used to fulfill the requirements of this article (see Landscape Technical Manual).
- (h) *Caliper:* Plant materials required by this section shall comply with the minimum size requirements of Table 30-5, Minimum landscape planting specifications at the time

of installation. Plant height shall be measured from the average grade level of the immediate planting area to the top horizontal plane of the shrub at planting; for single-trunk trees, the measurement shall be taken six (6) inches above grade level; for multitrunk trees, the tree shall be measured from the average grade level of the immediate planting area.

- (i) *Planting areas and shrubs:* Planting areas shall consist of permeable surface areas only. The permeable surface areas for shrubs may be included with permeable surface areas required for trees.
- (j) *Pavement edges:* Each overstory, coniferous, understory [tree] or shrub shall be planted at least twelve (12) inches from the edge of any paved surface.
- (k) *Irrigation:* Irrigation must be indicated on the landscape plan. Any landscape area must be shown by water tolerant usage area.

SECTION 4: That Chapter 30 “Development Standards”, Article III “Improvements”, Division 10 “Landscaping”, Subdivision 2 “Landscape Materials”, Section 30-323 “Existing vegetation” of the Code of Ordinances of the City of Titusville is hereby amended to read as follows:

Sec. 30-323. Existing vegetation.

All open areas of any site not occupied by building, parking, storage, or required landscape plant materials shall be retained as a natural vegetated area or (sodded) grass or ground cover, except for artificial turf installed on single family lots consistent with the requirements of Section 30-325 “Artificial Turf”. The developer shall make a good faith effort to incorporate existing vegetation in the landscaping throughout the property.

SECTION 5: That Chapter 37 “Definitions”, Section 37-1 “Definitions” of the Code of Ordinances of the City of Titusville is hereby amended to add a new definition which reads as follows:

Artificial turf (also known as Synthetic turf or grass): A surface that closely replicates the look and feel of natural grass. Synthetic turf includes fibers consisting of green life-like individual blades that emulate natural turf or turfgrass in color, texture and size. Synthetic turf is a type of landscaping that eliminates the potentially unpredictable growth of natural grass.

SECTION 6: That the Code of Ordinances, City of Titusville is hereby amended by adding a section, to be numbered Section 30-325 “Artificial Turf”, which said section reads as follows:

Sec. 30-325. Artificial Turf.

- (a).Artificial turf shall not be used in lieu of the plant requirements of this Article.
- (b).Artificial turf is prohibited in any public right-of-way.
- (c).Artificial turf shall be limited to use on single family lots.

- (d).Artificial turf shall be installed to have a minimum permeability of thirty (30) inches per hour per square yard. Artificial turf that does not meet the permeability minimum shall be considered 100% impervious area and required to receive a stormwater management permit consistent with Sec. 30-202 "Stormwater management permit."
- (e).Artificial turf shall have a minimum 15-year manufacturer's warranty that protects against color fading and decrease in pile height.
- (f). Artificial turf shall be lead-free.
- (g).Artificial turf shall come with "total content leach protocol" (TCLP) test documentation declaring that the yarn and backing material are disposable under normal conditions at any U.S. landfill station.
- (h).Infill materials for artificial turf must be organic or sand, with a non-toxic coating.
- (i). The use of "indoor/outdoor" carpeting as a replacement or substitute for artificial turf is strictly prohibited.
- (j). Any deviation from these minimum standards must be approved as a variance by the Board of Adjustments and Appeals. No variance may be granted for use within the shoreline protection buffers as established in Section 30-63, Shoreline Protection Setbacks.
- (k).Installation shall be, at a minimum, in accordance with manufacturer's specifications.
- (l). Artificial turf shall be anchored in order to withstand the effects of wind.
- (m). Seams shall be nailed and glued (not sewn) and all edges shall be trimmed to fit against all regular and irregular edges in order to present a natural look.
- (n).Sufficient drainage shall be provided in order to prevent excess runoff or pooling of water.
- (o).Artificial turf shall be maintained in a "like new" condition free of weathering and fading. Artificial turf areas shall be kept free of dirt, debris, stains, and weeds. Tears, holes, ruts, depressions and the like shall be repaired immediately with like for like materials, from the same manufacturer if possible. Edges shall be properly anchored and shall not present a "loose" appearance.
- (p).Artificial turf installed in compliance with this code shall NOT count toward the required minimum landscape area.
- (q).Artificial turf that is proposed with a building permit on single family lots shall be inspected for consistency with this Section. Artificial turf that is not proposed with a building permit shall not require a permit provided the materials, placement and installation are consistent with this Section.


SECTION 7. SEVERABILITY. If any provision of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions of this Ordinance.

SECTION 8. REPEAL OF CONFLICTING ORDINANCES. All ordinances or parts of ordinances, and all resolutions and parts of resolutions, in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 9. INCORPORATION INTO THE CODE. This ordinance shall be incorporated into the City of Titusville Code of Ordinances and any section or paragraph, number or letter, and any heading may be changed or modified as necessary to effectuate the foregoing: Grammatical, typographical, and like errors may be corrected and additions, alterations, and omissions, not affecting the construction or meaning of this ordinance and the Code may be made.

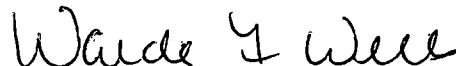
SECTION 10. EFFECTIVE DATE. This Ordinance shall become in full force and effect upon adoption by the City Council in accordance with the Charter of the City of Titusville, Florida.

PASSED AND ADOPTED, this 27th day of May, 2025.

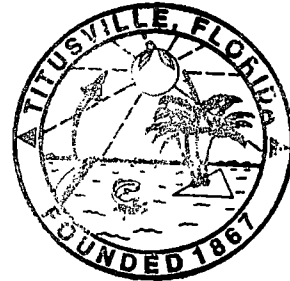


Andrew Connors, Mayor

ATTEST:



Wanda F. Wells, City Clerk



CC:

Laurie Dargie

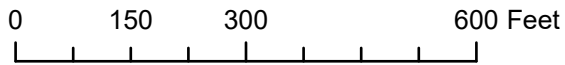
Jolynn Donhoff

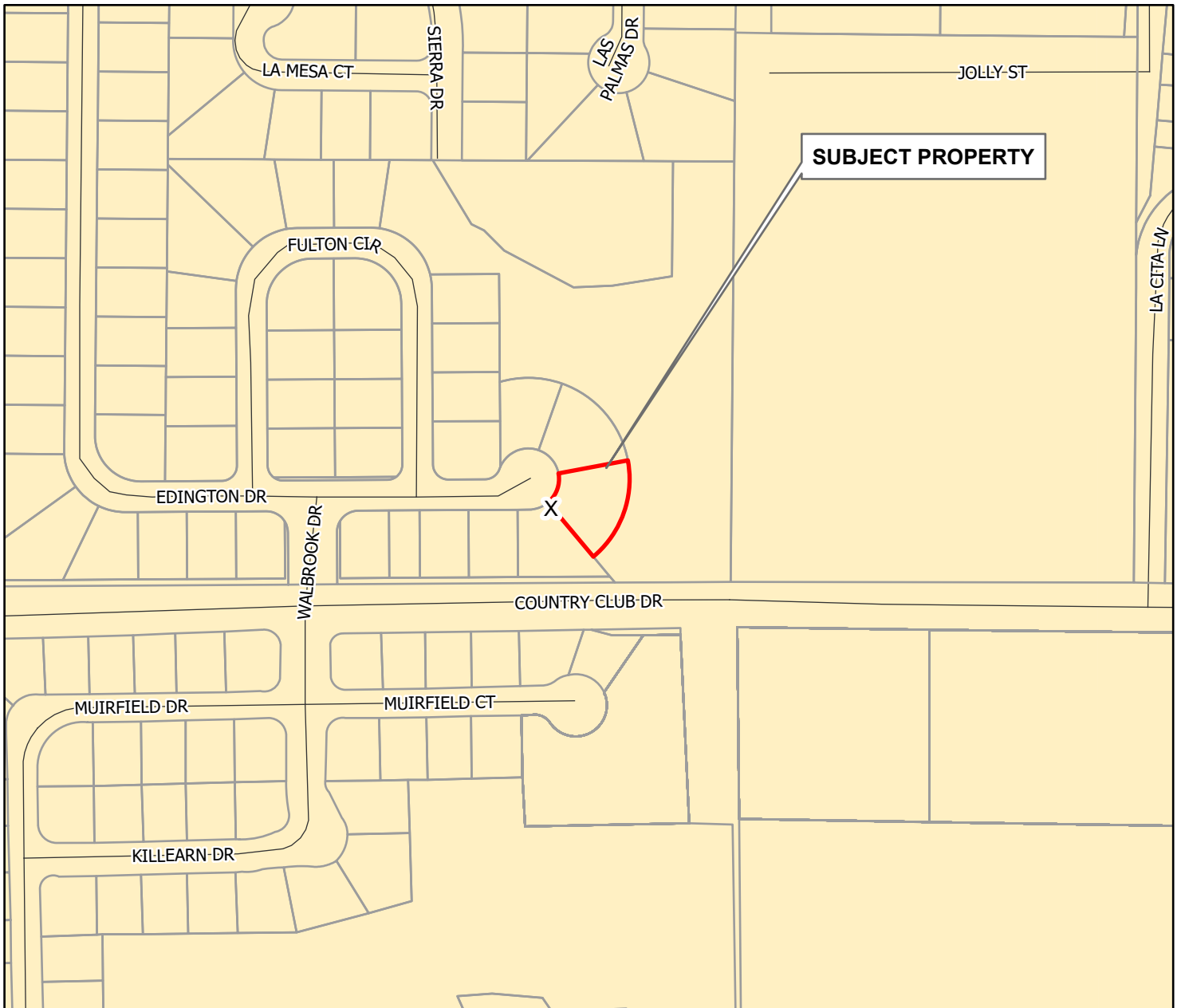


SUBJECT PROPERTY



Aerial 2024 VAR #11-2025





FEMA FLOOD HAZARD AREAS

VAR #11-2025

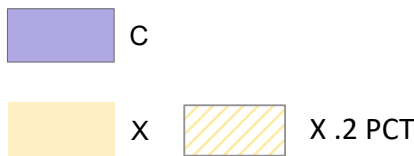
Special Flood Hazard Area Zones



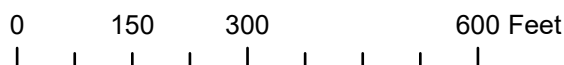
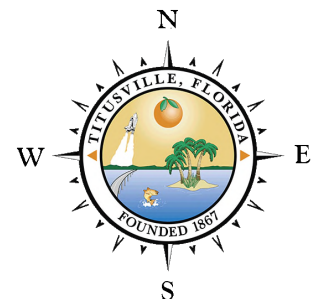
Moderate Flood Hazard Area Zone

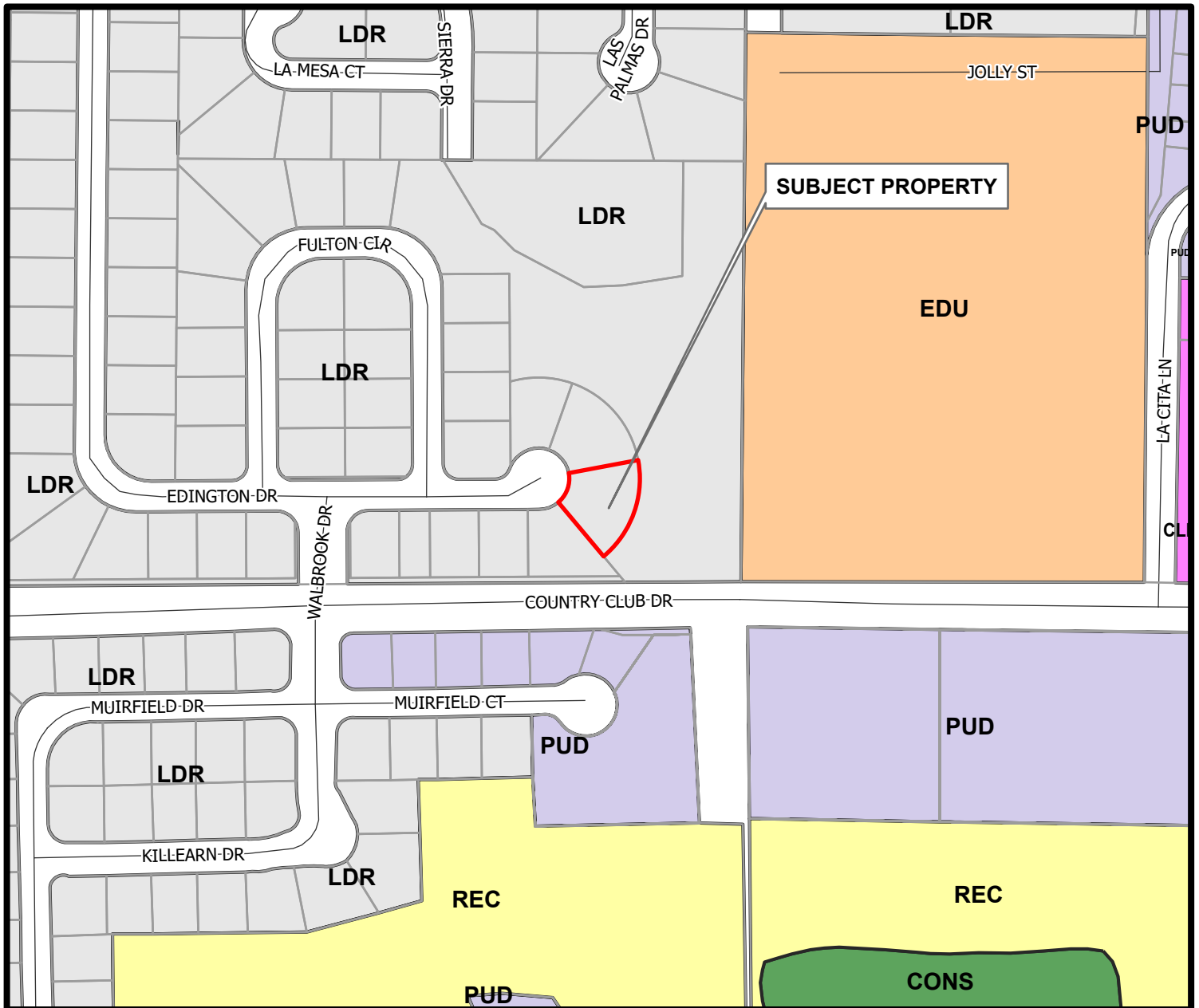


Minimal Flood Hazard Zones



Other Flood Zone Areas

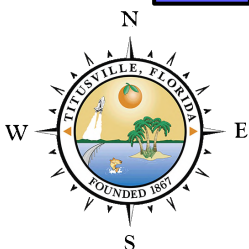




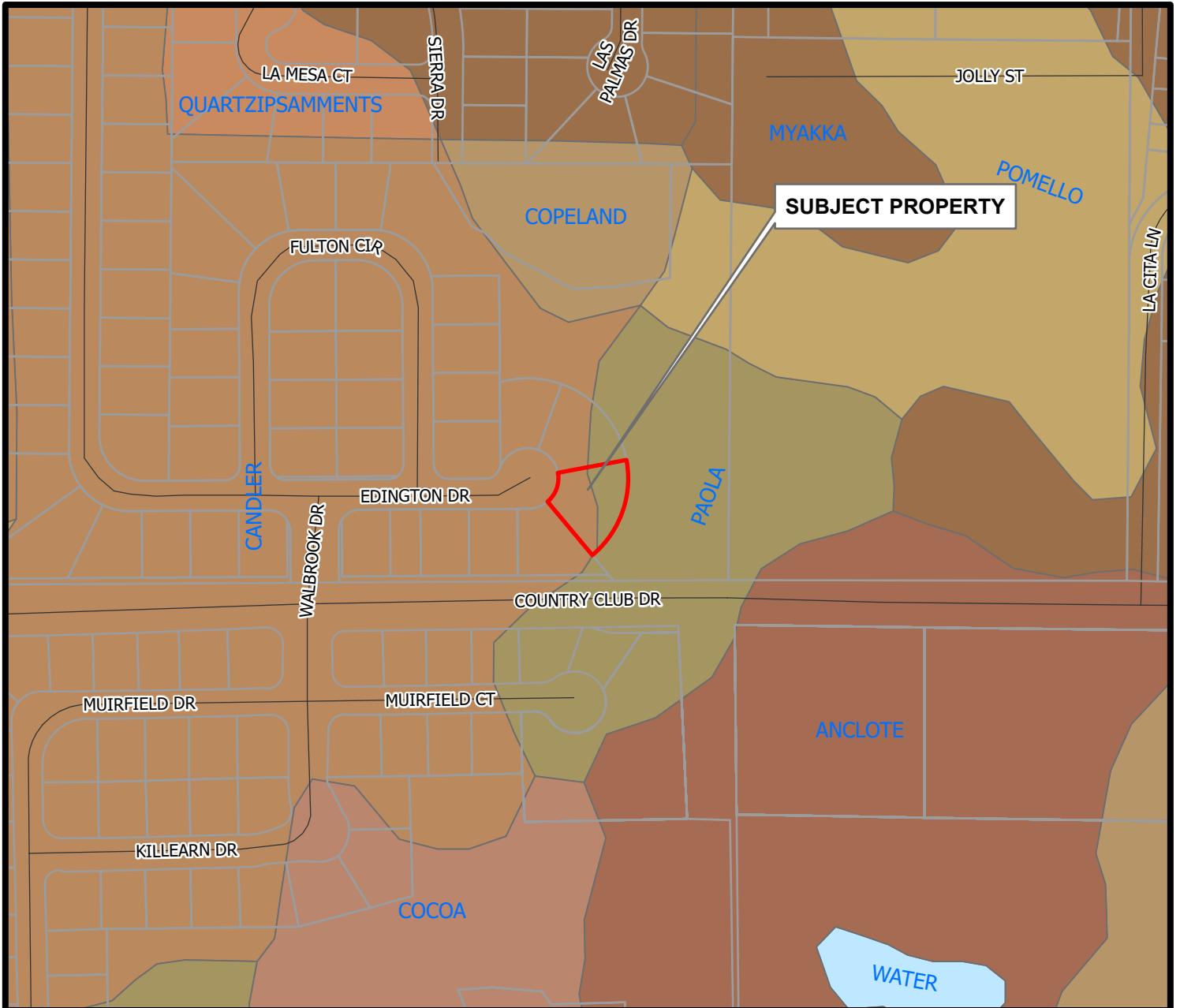
LOCATION OF PROPERTY AND FUTURE LAND USE MAP

CHI COMMERCIAL HIGH INTENSITY	ED EDUCATIONAL	PIP PLANNED INDUSTRIAL PARK	RES-2 RESIDENTIAL-2
CLI COMMERCIAL LOW INTENSITY	IND INDUSTRIAL	PSP PUBLIC/ SEMI-PUBLIC	RMU REGIONAL MIXED USE
CONS CONSERVATION	HDR HIGH-DENSITY RESIDENTIAL	PUD PLANNED UNIT DEVELOPMENT	SMU SHORELINE MIXED-USE
DMU DOWNTOWN MIXED-USE	MDR MEDIUM-DENSITY RESIDENTIAL	REC RECREATIONAL	UMU URBAN MIXED-USE
LDR LOW-DENSITY RESIDENTIAL	RES-1 RESIDENTIAL-1	US1 US-1 CORRIDOR	

Subject

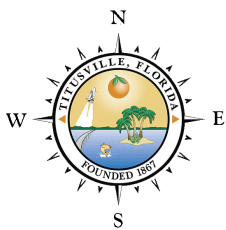


0 150 300 600 Feet



SOILS IN THE VICINITY OF SUBJECT PROPERTY VAR #11-2025

SoilName	MYAKKA
ANCLOTE	PAOLA
COPELAND	POMELLO
Candler	QUARTZIPSAMMENTS
COCOA	WATER
EVERGLADES	

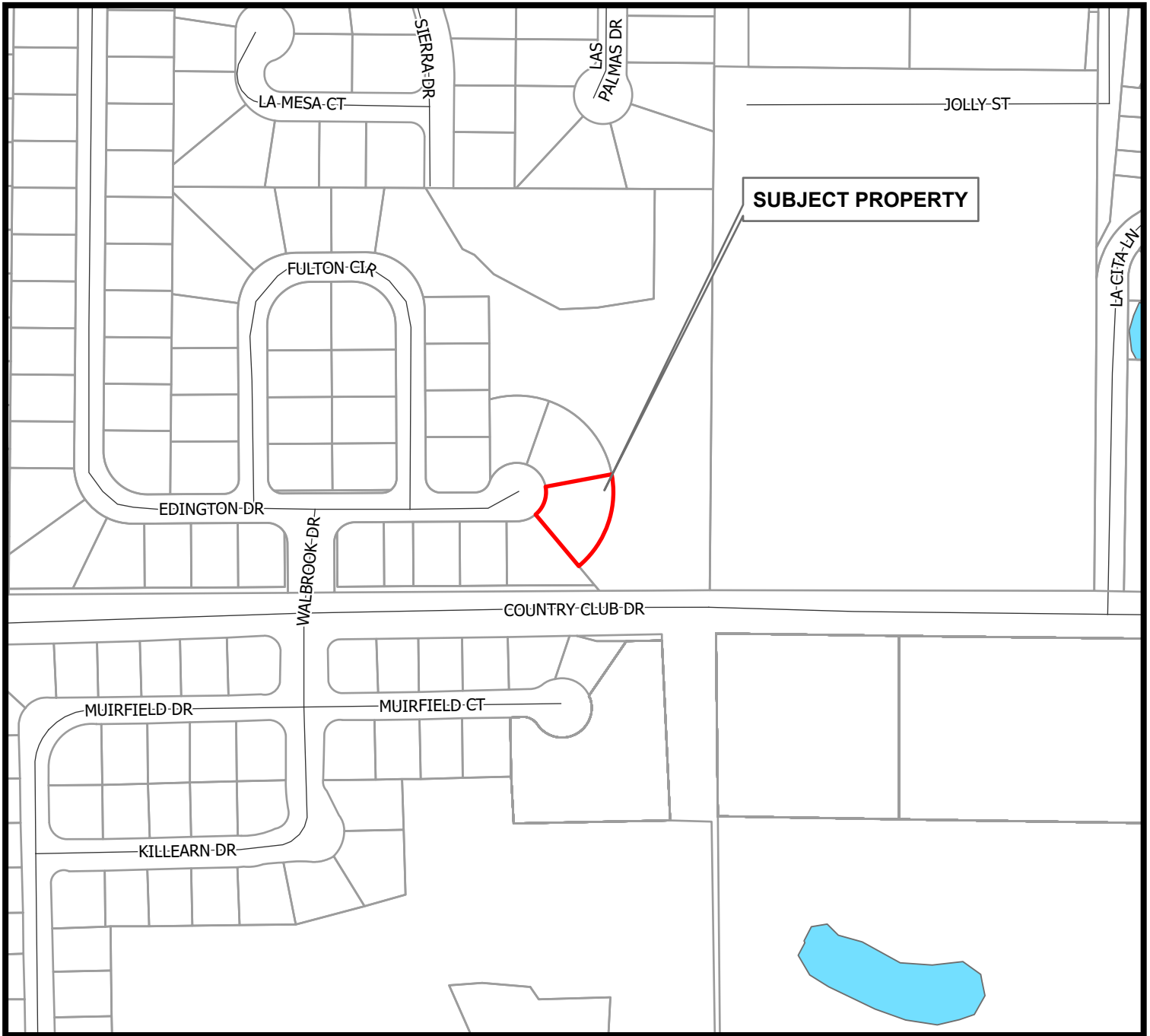


Community Development Department

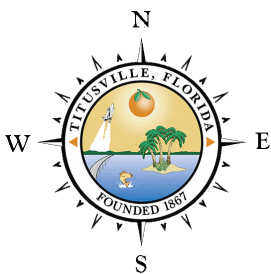
0 150 300 600 Feet

Soils data source: The U.S. Department of Agriculture, Natural Resources Conservation Service. (2019)

4/2/2025



WETLANDS IN VICINITY OF PROPERTY VAR



WETLAND_TY

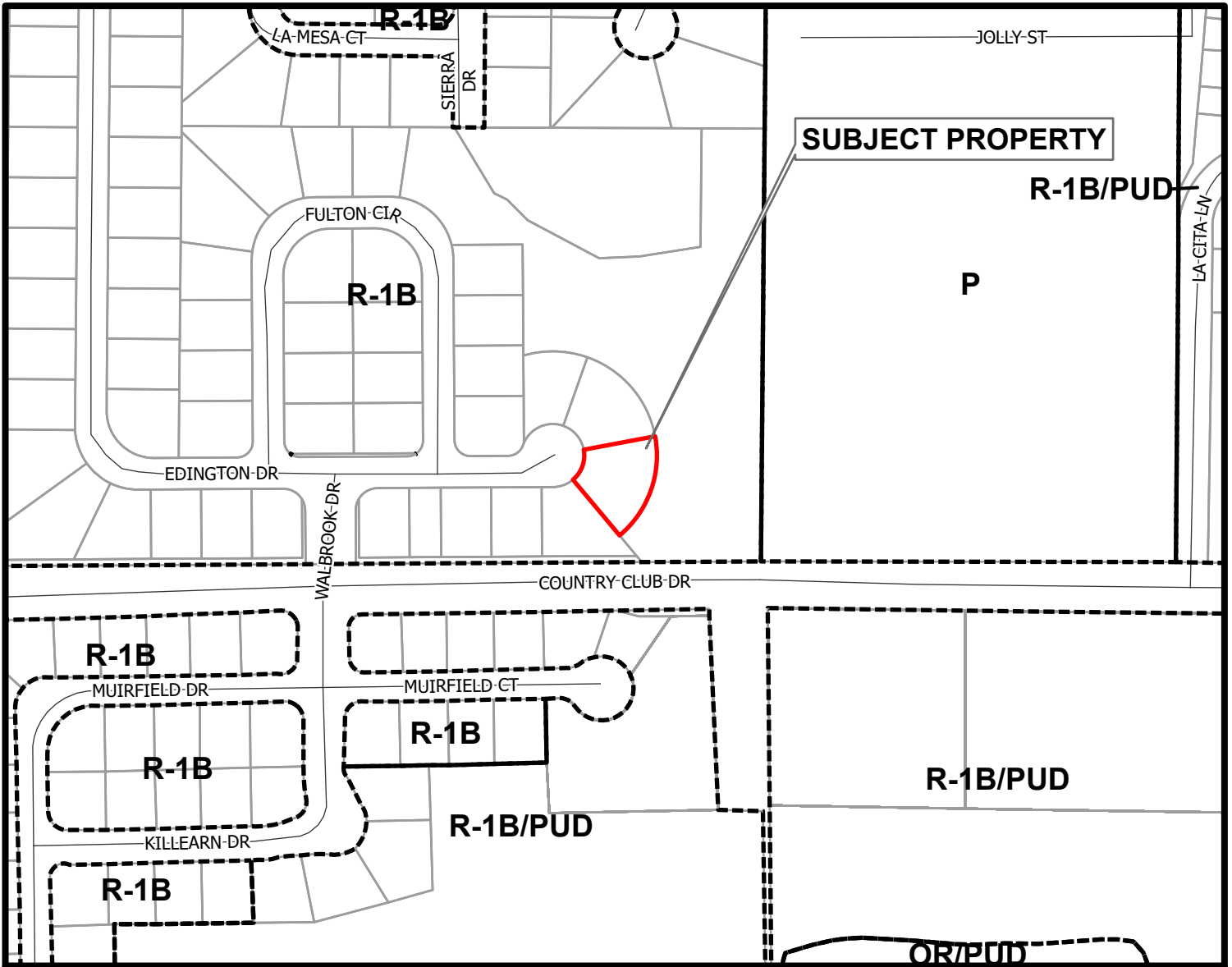
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland

- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine

4/2/2025

Scale:1:3,000

Community Development Department
Source: USFWS NWI (2023)



ZONING MAP

RESIDENTIAL DISTRICTS

- RE RESIDENTIAL ESTATES
- RR RURAL RESIDENTIAL
- R-1A SINGLE FAMILY, LOW DENSITY
- R-1B SINGLE FAMILY, MEDIUM DENSITY
- R-1C SINGLE FAMILY, HIGH DENSITY
- R-2 MULTIFAMILY, MEDIUM DENSITY
- R-3 MULTIFAMILY, HIGH DENSITY
- RMH-1 RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
- RMH-2 RESIDENTIAL MANUFACTURED HOUSING PARK

COMMERCIAL DISTRICTS

- HM HOSPITAL MEDICAL
- T TOURIST
- NC NEIGHBORHOOD COMMERCIAL
- CC COMMUNITY COMMERCIAL
- RC REGIONAL COMMERCIAL
- OP OFFICE PROFESSIONAL

SPECIAL DISTRICTS

- GU GENERAL USE
- OR OPEN SPACE AND RECREATION
- UMU URBAN MIXED USE
- SMU SHORELINE MIXED USE
- RHP RESIDENTIAL HISTORIC PRESERVATION
- RMU REGIONAL MIXED USE
- PD PLANNED DEVELOPMENT
- P PUBLIC
- UV URBAN VILLAGE
- DMU DOWNTOWN MIXED USE
- IRCN-R INDIAN RIVER CITY NEIGHBORHOOD RESIDENTIAL
- IRCN-C INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL

INDUSTRIAL DISTRICTS

- M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2 HEAVY INDUSTRIAL
- M-3 HIGHWAY INDUSTRIAL INFILL
- PID PLANNED INDUSTRIAL DEVELOPMENT

OVERLAY DISTRICTS

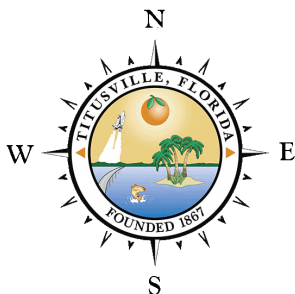
- TSA TITUSVILLE SHORELINE AREA
- AIA AIRPORT IMPACT AREA
- WCA WETLAND AND CONSERVATION AREA
- ACC AREA OF CRITICAL CONCERN
- HPA HISTORIC PRESERVATION AREA

Base Map

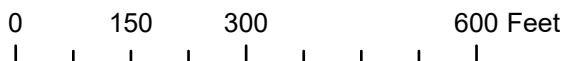
City Limits

Zoning

Subject



VAR #11-2025



City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustments and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Variance 17-2025 - 109 Fisher Ave**
Department/Office: Planning

Recommended Action:

Consider the requested variance to allow less than the required 10-foot interior side yard setback for a primary structure for property located at 109 Fisher Ave.

Summary Explanation & Background:

The applicant is requesting a variance to the Land Development Regulations, Chapter 28, Section 28-317. Light Industrial Services and Warehousing (M-1). Section 28-317(c) - To allow less than the required 10-foot interior side yard setback for a primary structure, for property located in the Light Industrial Services and Warehousing (M-1) zoning district, at 109 Fisher Ave, Titusville, FL 32796, as submitted by David Ruppe, authorized agent for Dave's Auto & Mobile Repair LLC, owner.

Alternatives:

1. Approve the variance -- Move to approve the request for a variance to allow a reduction in the required interior side yard setback for a primary structure from ten (10) feet to zero (0) feet.
2. Deny the variance -- Move to deny the request for a variance to allow a reduction in the required interior side yard setback for a primary structure from ten (10) feet to zero (0) feet. (Include reasoning for denial)

Item Budgeted:

N/A

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Variance 17-2025 Staff Report
2. Application
3. Survey
4. Daves Auto Letter 2025 06 19
5. Variance Neighbor Letters
6. Applicant Pictures
7. Code
8. Zoning map



City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 17-2025, 109 Fisher Ave**

3 **Meeting Date:** July 23, 2025

4 **Prepared By:** Tabitha Armstrong, Planner

5 **Applicant:** David Ruppe, authorized agent for Dave's Auto & Mobile Repair LLC, owner.

6 **Background**

7 (a) Variance request: The applicant is requesting a variance to the Land Development
8 Regulations, Chapter 28, Section 28-317. Light Industrial Services and
9 Warehousing (M-1). Section 28-317(c) - *To allow less than the required 10-foot*
10 *interior side yard setback for a primary structure*, for property located in the Light
11 Industrial Services and Warehousing (M-1) zoning district, at 109 Fisher Ave,
12 Titusville, FL 32796, as submitted by David Ruppe, authorized agent for Dave's
13 Auto & Mobile Repair LLC, owner.

14 (b) Location: 109 Fisher Ave, Titusville, FL. Tax No. 2200636. Parcel I.D. 22-35-03-
15 30-B-5

16 (c) Land Description: FISHERS ADDN TO TITUSVILLE LOTS 5,7 BLK B EXC
17 ORB 5597 PG 7219

18 (d) Future Land Use: Industrial

19 (e) Zoning: Light Industrial Services and Warehousing (M-1)

20 (f) Surrounding Zoning Districts.

21 1. North: Light Industrial Services and Warehousing (M-1)

22 2. South: Light Industrial Services and Warehousing (M-1)

23 3. East: Light Industrial Services and Warehousing (M-1)

24 4. West: Light Industrial Services and Warehousing (M-1)

Board of Adjustments and Appeals: Variance No. 17-2025

1 (g) Lot Characteristics: The subject property is a flag shaped parcel measuring
2 approximately .08 acres (3,484 square feet) with 85 feet of frontage along Fisher
3 Avenue. The dimensions do not meet the minimum 5,000 sq. ft. lot area
4 requirements of the M-1 zoning district.

5 (h) Uses: Automotive Repair Shop.

6 **Powers of the BAA**

7 LDR Section 34-226 states that the Board shall grant a variance request when in the
8 opinion of the Board of Adjustments and Appeals, owing to special conditions, the
9 literal enforcement of such ordinance or regulations would do manifest injustice to, or
10 impose an unnecessary hardship upon the applicant. In order to authorize any variance
11 to the provisions of such ordinance, the Board must consider the following criteria:

12 (a) Special conditions and circumstances exist which are peculiar to the land,
13 structure, or building involved and which are not applicable to other lands,
14 structures or building in the same zoning.

15 (b) Special conditions and circumstances do not result from the actions of the
16 applicant.

17 (c) Granting the variance requested will not confer upon the applicant any special
18 privilege that is denied by the ordinance to other lands, buildings or structures in
19 the same zoning district.

20 (d) The literal interpretation of the provisions of the ordinance would deprive the
21 applicant of rights commonly enjoyed by other properties in the same zoning
22 district under the terms of the ordinance.

23 (e) The variance granted is the minimum variance that will make possible the
24 reasonable use of the land, building or structure.

25 (f) The granting of the variance will preserve the spirit of the ordinance and remain
26 in harmony with its general purpose and intent.

27 (g) In granting the variance, the public safety and welfare must be assured.

28 (h) In no case shall the granting of a variance result in a change of use, which would
29 not be permitted in that zone.

30 **Analysis**

31 The applicant is requesting a variance to the Land Development Regulations (LDR),
32 Section 28-317(c) to allow a 0-foot interior side yard setback for a primary structure
33 instead of the required 10-foot interior side yard setback. According to the Brevard
34 County Property Appraiser’s Office (BCPAO), the subject parcel is approximately
35 0.08-acres and contains a 1,520 square foot building constructed in 1947.

Board of Adjustments and Appeals: Variance No. 17-2025

1 BCPAO records also show that the property was once under common ownership with
2 613 Orange Street. The lot appears to have been subdivided in 2023; however, there
3 are no records to indicate the division of land was reviewed or approved by the City.

4 Following the separation of the parcels, a 350-square-foot outbuilding was constructed
5 with a 0-foot interior side setback. This placement does not meet the 10-foot setback
6 requirement outlined in LDR Section 28-317(c). The request does not appear to meet
7 the criteria for variance approval outlined in LDR Section 34-226. The hardship
8 appears to be self-created and result from actions taken by the previous property owner.
9 Approving the variance request would not preserve the spirit of the ordinance and
10 would not be in harmony with its general purpose and intent.

11 **Recommendation**

12 The staff recommends **denial** of the variance allowing an interior yard setback of 0-
13 feet for primary structure. The special conditions and circumstances are self-created.
14 Approval of the variance may grant the applicant rights not commonly enjoyed by other
15 properties in the same zoning district under the terms of the ordinance. The variance
16 request would not preserve the spirit of the ordinance and would not be in harmony
17 with its general purpose and intent. The intent of the zoning regulations is to remove
18 nonconformities and impose a uniform set of development standards.



To be Completed by Staff

Application No. _____
 Date Received: _____
 Received by: _____

APPLICATION FOR VARIANCE

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.

1. Project Location	Property Address/Location Description <i>109 Fisher Ave</i>		
2. Applicant/ Owner	Name of Applicant/Contact <i>David A. Ruppe</i>		Name of Owner <i>Davis Auto + Mobile Repair Inc.</i>
	Street Address <i>3827 Huntington Ave</i>		Street Address <i>109 Fisher Ave</i>
	City	State	Zip
	<i>Mims/Scottsdale FL</i>	<i>FL</i>	<i>32754</i>
	Telephone # <i>321-960-8099</i>		Telephone # <i>321-960-9206</i>
	E-Mail Address <i>negotiator.dave@gmail.com</i>		E-Mail Address <i>davesautoandmobilerepair@gmail.com</i>
3. Applicant Status	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Agent <input type="checkbox"/> Other		
4. Parcel ID	<i>22 3503-30-B-5</i>	Tax Acct.	<i>2200636</i>
5. Site Size	Acre(s): <i>.08 Acres</i>	Square Feet: <i>1520</i>	
6. Property Information	Current Zoning <i>4800-Warehousing</i>	Current Use of Property <i>Automotive General Repair</i>	
7. Variance(s) Requested	Section Number	LDR Requirement	Variance Requested
	1) <i>28-317</i>	1) <i>10ft</i>	1) <i>0ft</i>
	2)	2)	2)
	3)	3)	3)
	4)	4)	4)
5)	5)	5)	
8. Narrative	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application) <i>Aluminum Covered Tire Rack/Used Oil Storage Shed I need a variance/hardship as there is not enough Property to stay within zoning requirements.</i>		

All applications shall require Community Development staff review prior to submittal.

- All applications shall be submitted to the Department electronically and officially logged in by 4:00 p.m. on deadline dates. Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information is submitted. Meeting dates for incomplete applications will not be set until all required information is submitted.
- Petitions requiring review from other boards or commissions prior to being forwarded to the Board of Adjustments and Appeals (BAA) are not guaranteed placement on the BAA schedule available on the City's website.

ACKNOWLEDGEMENT

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the City Council, Board of Adjustment & Appeals, and Planning & Zoning Commission on this topic to properly noticed public hearings or to written communication to the City Clerk's Office, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/

(Signature*)



(Date) 6-8-25

** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.*

FOR OFFICE USE ONLY

Date Received: _____
Accepted By: _____
Hearing Date: _____
Case Number: _____

SKETCH/AREA TABLE ADDENDUM

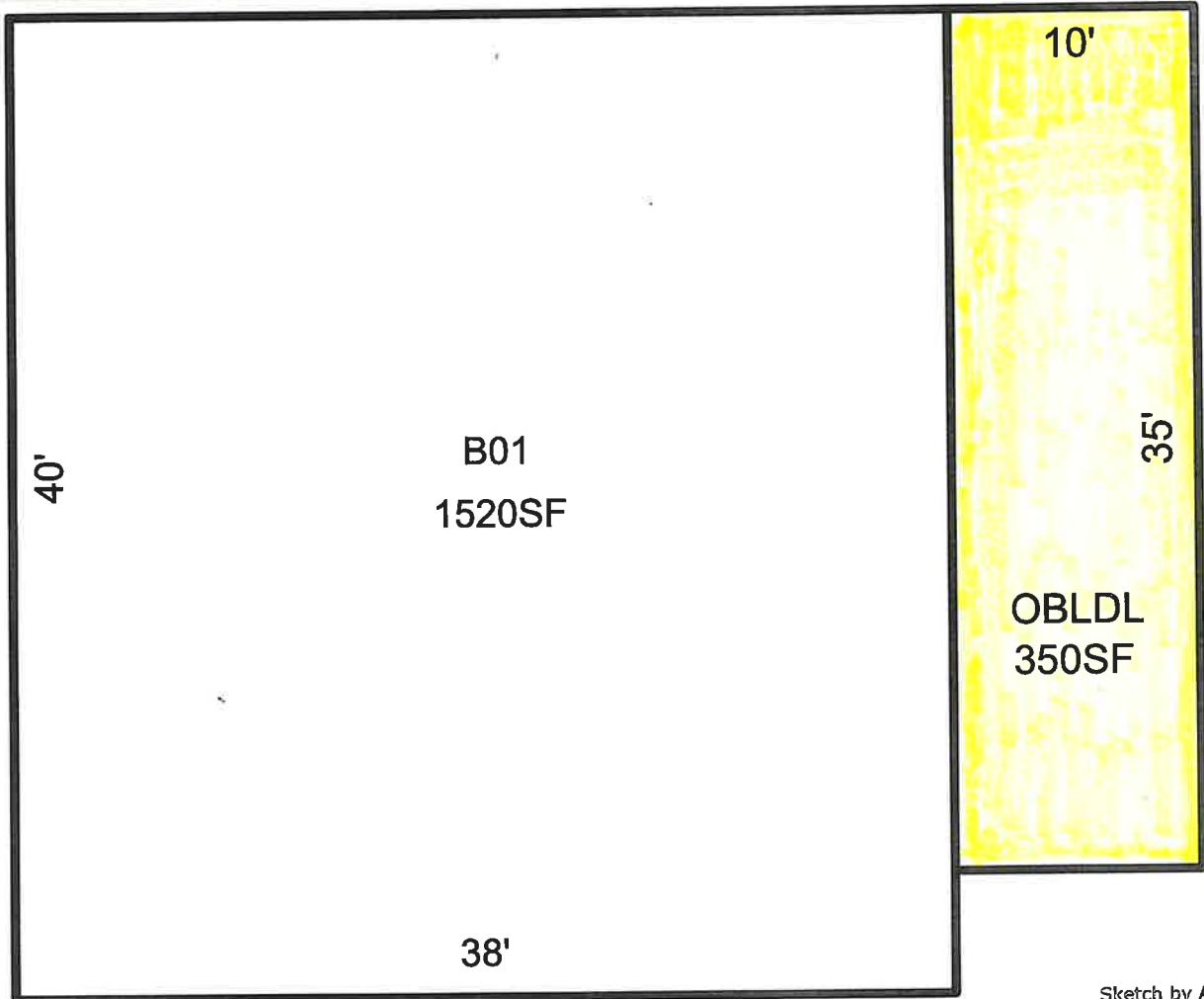
SUBJECT INFO

RE#: 2200636

DRAWN BY: NJD

DATE: 07/24/2024

SKETCH



Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
B01	Base Area 1ST FL	1	1520	156	1520
OBLDL	Out Building: Low	1	350	90	350

COMMENT TABLE 1

Represents The Variance For Tire Rack/Oil Storage Shed

COMMENT TABLE 2

COMMENT TABLE 3



REAL PROPERTY DETAILS
Account 2200636 - Roll Year 2024

Owners	DAVE'S AUTO & MOBILE REPAIR LLC
Mailing Address	109 FISHER AVE TITUSVILLE FL 32796
Site Address	109 FISHER AVE TITUSVILLE FL 32796
Parcel ID	22-35-03-30-B-5
Taxing District	14A0 - TITUSVILLE
Exemptions	NONE
Property Use	4800 - WAREHOUSING, DISTRIBUTION AND TRUCKING TERMINAL,
Total Acres	0.08
Site Code	0001 - NO OTHER CODE APPL.
Plat Book/Page	0001/0014
Subdivision	FISHERS ADDN TO TITUSVILLE
Land Description	FISHERS ADDN TO TITUSVILLE LOTS 5,7 BLK B EXC ORB 5597 PG 7219



VALUE SUMMARY

Category	2024	2023	2022
Market Value	\$141,510	\$119,700	\$115,920
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$141,510	\$119,700	\$115,920
Assessed Value School	\$141,510	\$119,700	\$115,920
Homestead Exemption	\$0	\$0	\$0
Additional Homestead	\$0	\$0	\$0
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$141,510	\$119,700	\$115,920
Taxable Value School	\$141,510	\$119,700	\$115,920

SALES / TRANSFERS

Date	Price	Type	Instrument
09/19/2023	\$235,000	WD	9893/2306
08/28/2018	\$146,300	WD	8249/2510
05/05/2015	--	QC	7359/2064
09/03/1985	\$50,000	WD	2633/2037
10/01/1978	\$16,800	--	1957/0823
11/01/1972	\$75,000	--	1290/0297

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 4800 - WAREHOUSING, DISTRIBUTION AND TRUCKING TERMINAL, VAN & STORAGE WAREHOUSING

Materials		Details	
Exterior Wall:	STUCCO , PLYWD/T111	Year Built	1947
Frame:	MASNRYCONC , WOOD FRAME	Story Height	11
Roof:	ENAMEL METAL	Floors	1
Roof Structure:	WOOD TRUSS	Residential Units	
		Commercial Units	1
Sub-Areas		Extra Features	
Base Area (1st)	1,520	Fence - Barb Wire	52
Total Base Area	1,520	Paving - Concrete	990
Total Sub Area	1,520	Fence - Chain Link 8'	52
		Paving - Asphalt	455

LISA CULLEN, CFC
BREVARD COUNTY TAX COLLECTOR

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS
2024 PAID REAL ESTATE

TAX ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
2200636		14A0

Pay your taxes online at www.brevardtc.com

Dave's Auto & Mobile Repair LLC
 109 Fisher AVE
 Titusville, FL 32796-3466

109 FISHER AVE
 FISHERS ADDN TO TITUSVILLE LOTS
 5,7 BLK B EXC ORB 5597 PG 7219

AD VALOREM TAXES						
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION	TAXABLE VALUE	TAXES LEVIED	
COUNTY GENERAL FUND	2.9207	141,510	0	141,510	413.31	
BREVARD LIBRARY DISTRICT	0.3306	141,510	0	141,510	46.78	
BREVARD MOSQUITO CONTROL	0.1367	141,510	0	141,510	19.34	
TI-CO AIRPORT AUTHORITY	0.0000	141,510	0	141,510	0.00	
SCHOOL - BY STATE LAW	3.0630	141,510	0	141,510	433.45	
SCHOOL - BY LOCAL BOARD	0.7480	141,510	0	141,510	105.85	
BPS VOTED TEACHER PAY	1.0000	141,510	0	141,510	141.51	
SCHOOL - CAPITAL OUTLAY	1.5000	141,510	0	141,510	212.27	
CITY OF TITUSVILLE	6.5817	141,510	0	141,510	931.38	
TITUSVILLE IND RVR ACQ	0.1936	141,510	0	141,510	27.40	
REC DIST 1 MSTU INCL TITUS	0.4281	141,510	0	141,510	60.58	
ST JOHNS RIVER WATER MGMT DST	0.1793	141,510	0	141,510	25.37	
FLA INLAND NAVIGATION DIST	0.0288	141,510	0	141,510	4.08	
ENV END LD/WTR LTD	0.0467	141,510	0	141,510	6.61	
ENV END LD/WTR LTD(DBTP)	0.0078	141,510	0	141,510	1.10	
N BREV REC D1/TTS (DBTP)	0.2034	141,510	0	141,510	28.78	
N BREV REC DST 1/TTS	0.1657	141,510	0	141,510	23.45	
TOTAL MILLAGE		17.5341	AD VALOREM TAXES		\$2,481.26	

NON-AD VALOREM ASSESSMENTS		AMOUNT
114 STORMWATER TITUSVILLE		124.49
158 SOLID WASTE DISPOSAL		201.46
PAY ONLY ONE AMOUNT IN BOXES BELOW		NON-AD VALOREM ASSESSMENTS \$325.95
If Paid By	Mar 31, 2025	
Please Pay	\$2,807.21	

LISA CULLEN, CFC
BREVARD COUNTY TAX COLLECTOR

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS
2024 PAID REAL ESTATE

TAX ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
2200636		14A0

Pay your taxes online at www.brevardtc.com

RETURN WITH PAYMENT
 Dave's Auto & Mobile Repair LLC
 109 Fisher AVE
 Titusville, FL 32796-3466



PLEASE PAY IN U.S. FUNDS THROUGH U.S. BANK TO BREVARD COUNTY TAX COLLECTOR, PO BOX 2500, TITUSVILLE, FL 32781-2500

If Paid By	Mar 31, 2025			
Please Pay	\$2,807.21			

03/24/2025 Paid Receipt # 802-25-00002748 \$2,807.21 Paid By Dave's Auto & Mobile Repair LLC

SKETCH/AREA TABLE ADDENDUM

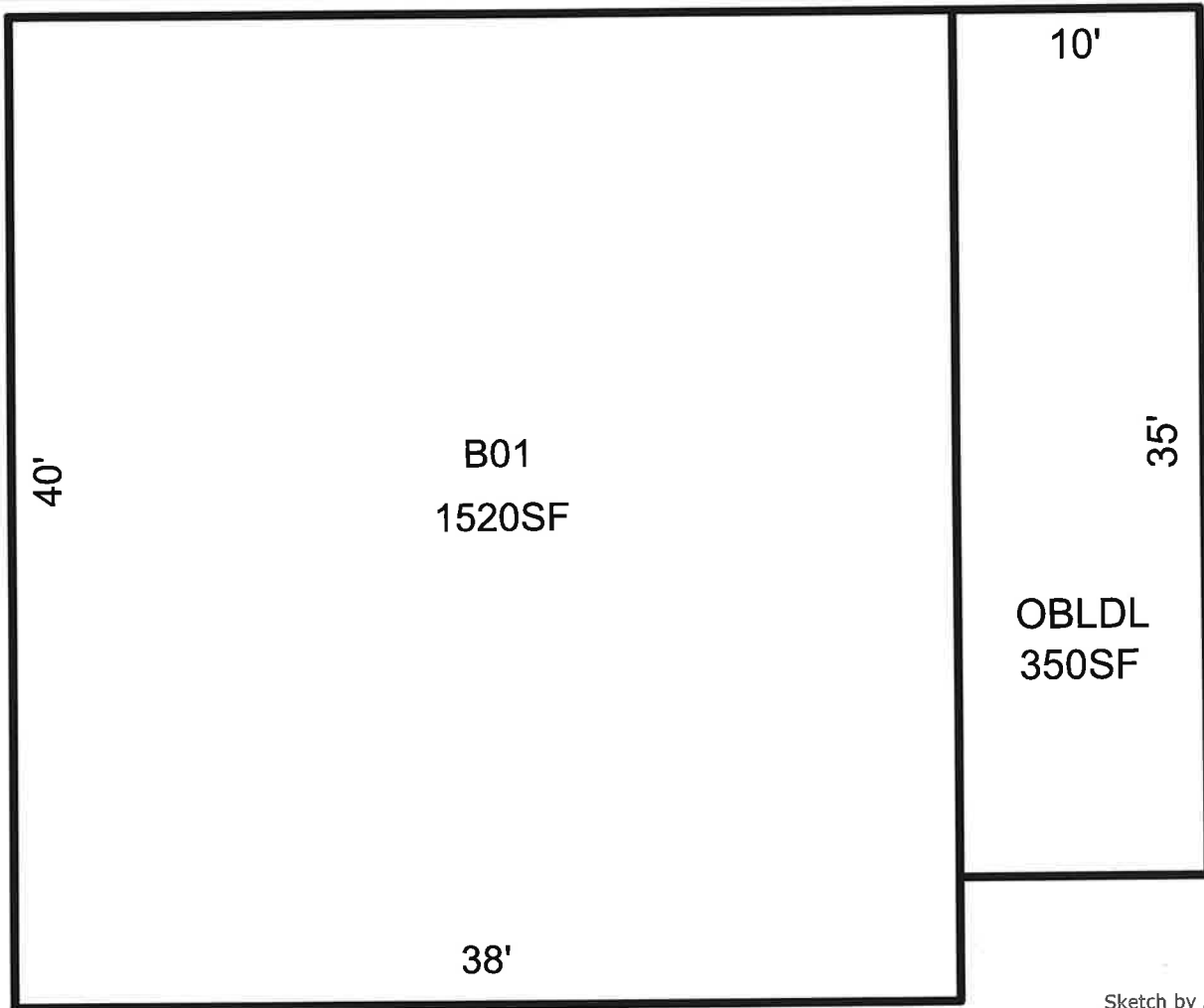
SUBJECT INFO

RE#: 2200636

DRAWN BY: NJD

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SKETCH



Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
B01	Base Area 1ST FL	1	1520	156	1520
OBLDL	Out Building: Low	1	350	90	350

COMMENT TABLE 1

COMMENT TABLE 2

COMMENT TABLE 3

Variance Justification

In answering the questions below, please be as specific as possible. Your answers will help the Board of Adjustments and Appeals and City staff to properly evaluate your variance request.
(Please attach a separate sheet if necessary)

1. Why are you unable to comply with the requirements? What hardship or injustice are you claiming?
The property lines as purchase have limited setbacks
The front is less than 20' The back is 5' the side yard to
The South is 16' The north is 2ft. The parking lot accompanies
The front variance/setback and is Extended north of the
Building.
2. What is special about your property that would justify treating it differently than most other properties? (Examples of important special conditions include: narrow or odd shaped lot; excessive slope of land; soil or drainage limitations; unusual location of existing buildings on the lot; etc.) If the special conditions involve an existing building or structure, when was it built and are you the original owner?
This property is Narrow and very odd shaped.
There is less than normal variances on ~~the~~ 2 sides of the
building.
3. Is your variance request the minimum change from the requirements that you need to overcome your hardship? Explain your answer. (For example, suppose you are requesting a 5 foot variance to the side yard setback requirement in order to build a single car garage 15 feet wide. Your request would not be the minimum since a single car garage 11 feet wide would be adequate and would only require a 1 foot variance.)
Since the Covered Tire rack was
built and installed in December of 23, If it is not ~~approved~~
approved, it will have to be reconfigured, I would have
to reevaluate and seek a 6' variance on the South side
4. Explain why approval of your variance request would not likely result in harm to your neighbor's properties or to the general public.
The variance requested
actually improves many aspects for my neighbor to
The south. They have prepared a letter in approval of
the change requested. The neighbor to the east and
the west is in a legal dispute (Small Claims Court)
with me related their failure to return my \$6000.00
"earnest Money" after financing options failed.



SUBMITTAL CHECKLIST

Please fill out the following and submit the documents to the Community Development Department electronically. Payment of fees does not ensure a favorable decision. Additional information may include documents initially waived at the pre-application meeting but subsequently determined necessary by staff.

1.	Complete Application and Fees
2.	Warranty Deed
3.	Notarized Owner Authorization Form (If applicable)
4.	Legal Description (from a certified survey)
5.	Certified Survey (sealed and containing permanent reference points as described by Chapter 177, Florida Statutes, with bearings, distances and closures) in electronic PDF format.
6.	Digital plot or site plan, drawn to scale, illustrating the variance requested.
7.	Names, addresses and address labels for all property owners within 100 feet of the subject property. <i>Note: This listing is available from either the Brevard County Property Appraiser's Office or the City of Titusville Planning Department. Current charge for this service is \$35.00.</i>
8.	Pre-Application Meeting Held – Date: Staff in Attendance:

Applicant Signature**

Is/

Date

6-11-25

** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.

LEGAL DESCRIPTION: (AS FURNISHED) ORB 8249, PAGE 2510

LOTS 5 AND 7, BLOCK B, FISHER'S ADDITION TO TITUSVILLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 14, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

LESS THE PORTION DESCRIBED IN OFFICIAL RECORDS BOOK 5597, PAGE 7219, AS DESCRIBED AS FOLLOWS:

A PART OF LOTS 5, 6 AND 7, BLOCK B, AND PART OF A VACATED MAIDEN LAND LYING EAST OF SAID LOTS 5, 6 AND 7, BLOCK B, FISHER'S ADDITION TO TITUSVILLE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 14, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 7, BLOCK B, FISHER'S ADDITION TO TITUSVILLE; THENCE EAST ALONG THE NORTH LINE OF LOTS 6 AND 7, BLOCK B, AND THE NORTH LINE OF VACATED MAIDEN LAND LYING EAST OF SAID LOTS 5, 6 AND 7, BLOCK B, FISHER'S ADDITION TO TITUSVILLE A DISTANCE OF 143.32 FEET, TO A POINT LYING 3.22 FEET WEST OF THE WEST LINE OF LOTS 5, 6 AND 7, BLOCK A; THENCE SOUTH 02°28'39" EAST, PARALLEL WITH THE WEST LINE OF LOTS 5 AND 7, BLOCK A, A DISTANCE OF 132.00 FEET TO A POINT LYING ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOT 5, BLOCK B, SAID FISHER'S ADDITION TO TITUSVILLE, THENCE WEST ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOT 5, BLOCK B, AND THE SOUTH LINE OF LOT 5, BLOCK B, A DISTANCE OF 88.32 FEET; THENCE NORTH 01°43'67" WEST, A DISTANCE OF 34.81 FEET; THENCE SOUTH 88°13'43" WEST, A DISTANCE OF 37.06 FEET; THENCE NORTH 01°46'17" WEST, A DISTANCE OF 34.81 FEET; THENCE SOUTH 88°13'43" WEST, A DISTANCE OF 19.00 FEET, TO A POINT LYING ON THE WEST LOT OF LOT 7, BLOCK B, FISHER'S ADDITION TO TITUSVILLE, THENCE NORTH 02°28'39" WEST, ALONG SAID WEST LINE, A DISTANCE OF 47.00' FEET TO THE POINT OF BEGINNING.

**SHEET 1 OF 2 SHEETS
SKETCH ON SHEET 2**

THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE BOUNDARY IN ACCORDANCE WITH THE FURNISHED LEGAL DESCRIPTION AND SHOW THE ABOVE GROUND IMPROVEMENTS TO ENABLE THE BUYERS OF THIS PROPERTY TO OBTAIN TITLE INSURANCE AND FINANCING.

LEGEND:	50x100 = PROPOSED ELEVATION 50x100 = ELEVATION SHOT	W = WETLAND FLAGS	SURVEY SYMBOLS
A/C = AIR CONDITIONER A.K.A. = ALSO KNOWN AS ALUM = ALUMINUM AVE = AVENUE BLK = BLOCK BLVD = BOULEVARD BM = BENCHMARK (CALC) = CALCULATED CB = CHORD BEARING C.B.S. = CHORD DISTANCE CD = CHORD DISTANCE C.L. = CHAIN LINK FENCE C.L. = CENTER LINE CM = CONCRETE MONUMENT CONC. = CONCRETE COURT = COURT (D) = DEED (D) = DEED DR = DRIVE DB = DEED BOOK D/W = DRIVEWAY	50x100 = PROPOSED ELEVATION 50x100 = ELEVATION SHOT ESMT = DRAINAGE FLOW ELEV = EASEMENT FF = FINISH FLOOR FH = FOUND I.P. = IRON PIPE I.R. = IRON ROD LB = LICENSED BUSINESS (M) = MEASURED N/D = NAIL & DISK N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM ORB = OFFICIAL RECORDS BOOK OHW = OVERHEAD WIRE (P) = PLAT (P.R.) = PRO-RATED P.O.B. = POINT OF BEGINNING P.O.C. = POINT OF COMMENCEMENT	U.E. = UTILITY EASEMENT D.E. = DRAINAGE EASEMENT P.U.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT PC = POINT OF CURVATURE P.C. = POINT OF REVERSE CURVATURE P.I. = POINT OF INTERSECTION P.C.P. = PERMANENT CONTROL POINT PLS = PROFESSIONAL LAND SURVEYOR PG = PAGE PB = PLAT BOOK R/W = RIGHT-OF-WAY R.P. = RADIUS POINT S.P. = SCREEN PORCH ST = STREET S/W = SIDEWALK W.F. = WOOD FENCE WM = WATER METER WV = WATER VALVE	± = MORE OR LESS ○ = POWER POLE -> = GUY WIRE L = ARC LENGTH R = RADIUS Δ = DELTA ▭ = COVERED AREA = CONC. - - - = CENTER LINE - - - = FENCE X = EASEMENT ● = FOUND AS NOTED ▲ = FOUND NAIL & DISK ■ = FOUND CONCRETE MONUMENT ○ = SET 5/8" IRON ROD "COOPER LB 6544" ○ = SET NAIL & DISK "COOPER LB 6544" □ = SET 4"x4" CONCRETE MONUMENT "COOPER LB 6544"

DRAWN BY: JAB CHECKED BY: J.W.C.

SCALE: 1" = 20'

SECTION 3, TOWNSHIP 22 S., RANGE 35 E.

LEGAL DESCRIPTION:
SEE ABOVE

CERTIFIED TO:

DAVE'S AUTO AND M. BILE REPAIR LLC,
A FLORIDA LIMITED LIABILITY COMPANY
JPMORGAN CHASE
FIRST INTERNATIONAL TITLE
FIDELITY NATIONAL TITLE INSURANCE COMPANY

PROJECT No.	DATE	REVISION
SURVEY DATE: 8/1/23	PROJECT # 23-07-25	

SURVEYORS NOTES:

1. Unless otherwise noted, only plotted easements are shown hereon.
2. No underground utilities or improvements were located unless otherwise shown.
3. The surveyor no longer certifies the F.E.M.A. Zone. This certification is made by an independent contractor of the Federal Government. As a courtesy to the client, this surveyor feels that this parcel lies in F.I.R.M. Zone X per Community Panel No. 125152C0205H, dated 1/29/21.
4. Unless otherwise noted, any elevations shown are based on assumed datum.
5. Bearing shown hereon are based on the LINE AS SHOWN ON SKETCH OF SURVEY as being N 43°41'18" E, according to the Plat of FISHER'S ADDITION TO TITUSVILLE as recorded in plat book 1, at page 14 of the Public Records of Brevard County, Florida.
6. This survey is prepared and certified for the exclusive use of the client named hereon.
7. Unless this sketch of survey bears the signature and raised seal of John W. Cooper PLS 5093, it is for information purposes only and is not a valid survey.
8. Additions or deletions to this sketch of survey by other than the signing party is prohibited without written consent of the signing party.
9. Ownership of fences is unknown unless otherwise noted. Due to the nature of fences it is recommended that you contact the undersigned surveyor prior to removal or installation of any fence.

John W. Cooper
LAND SURVEYING INC.
2326 S. HOPKINS AVENUE
Titusville, Florida 32780
LB 6544
(321) 268-5646
FAX (321) 268-5688

I hereby certify that this survey meets the Standards of Practice as set forth by the Florida Department of Agriculture and Consumer Services in Chapter 5S-15.051 Florida Administrative Code, Pursuant to section 472.027, Florida Statutes.

John W. Cooper
John W. Cooper PSM 5093 Date Signed 8/17/23

6/19/2025

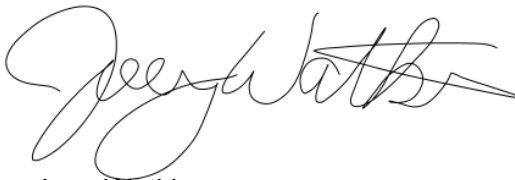
To whom it may concern,

Watkins Oil Co is the owner of 175 Fisher Ave and 179 Fisher Ave in Titusville.

It has come to our attention that a permanent structure has been built on the south side of the building at 109 Fisher Ave for additional enclosed storage space, and that this add-on is in violation of city building code due to its proximity to the property boundary.

This does not present an issue for us and we do not object to this structure. It is attractive, and it will do a better job of protecting the enclosed items during a hurricane than the previous rack that was against the building.

Thank you,



Joey Watkins
President
Watkins Oil Company Inc
Titusville, FL

To whom it may concern, I the property owner of 108 fisher ave, do not have any issue with the additional outbuilding on 109 fisher ave.

John Chough

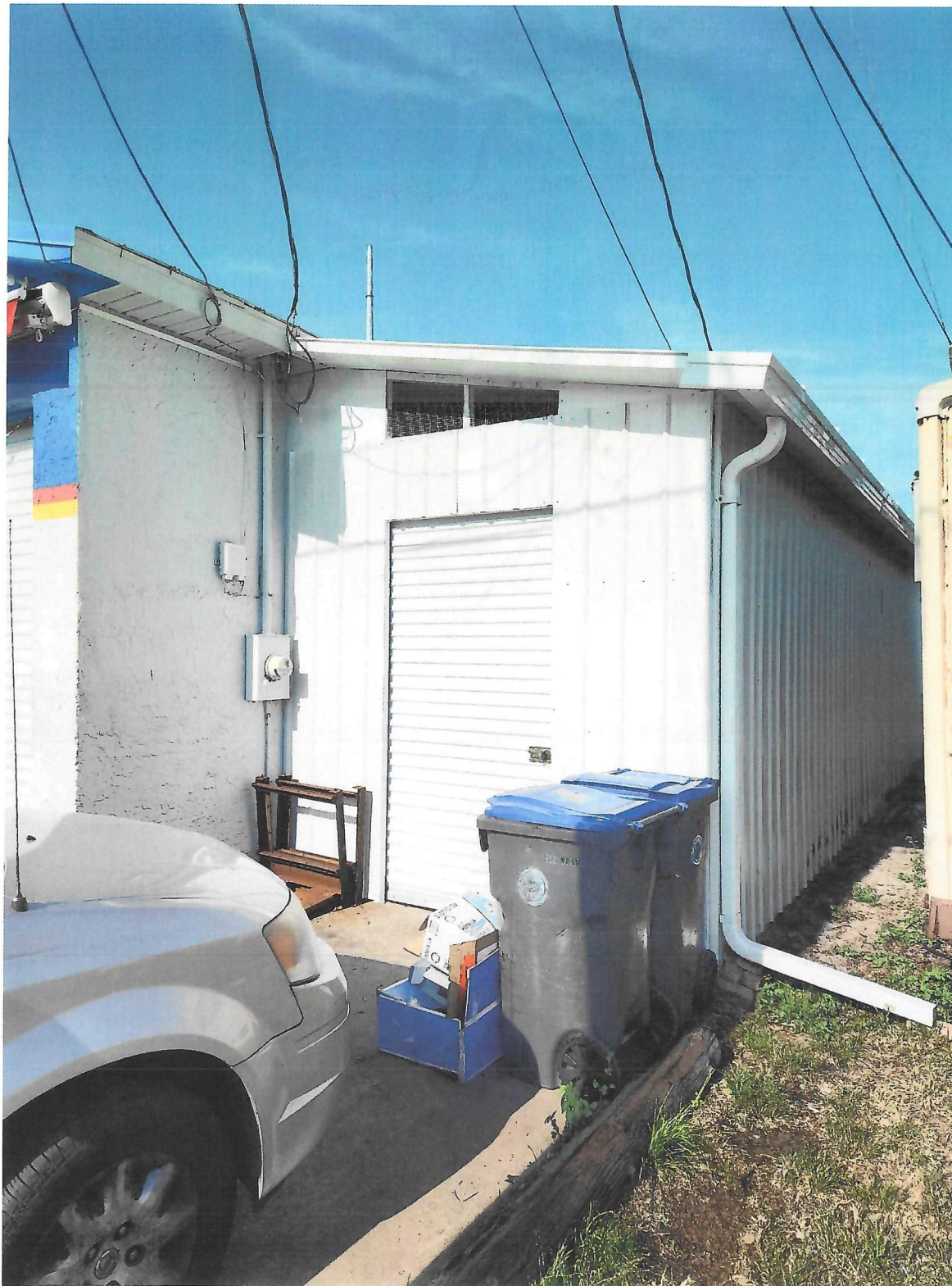
06/03/2025

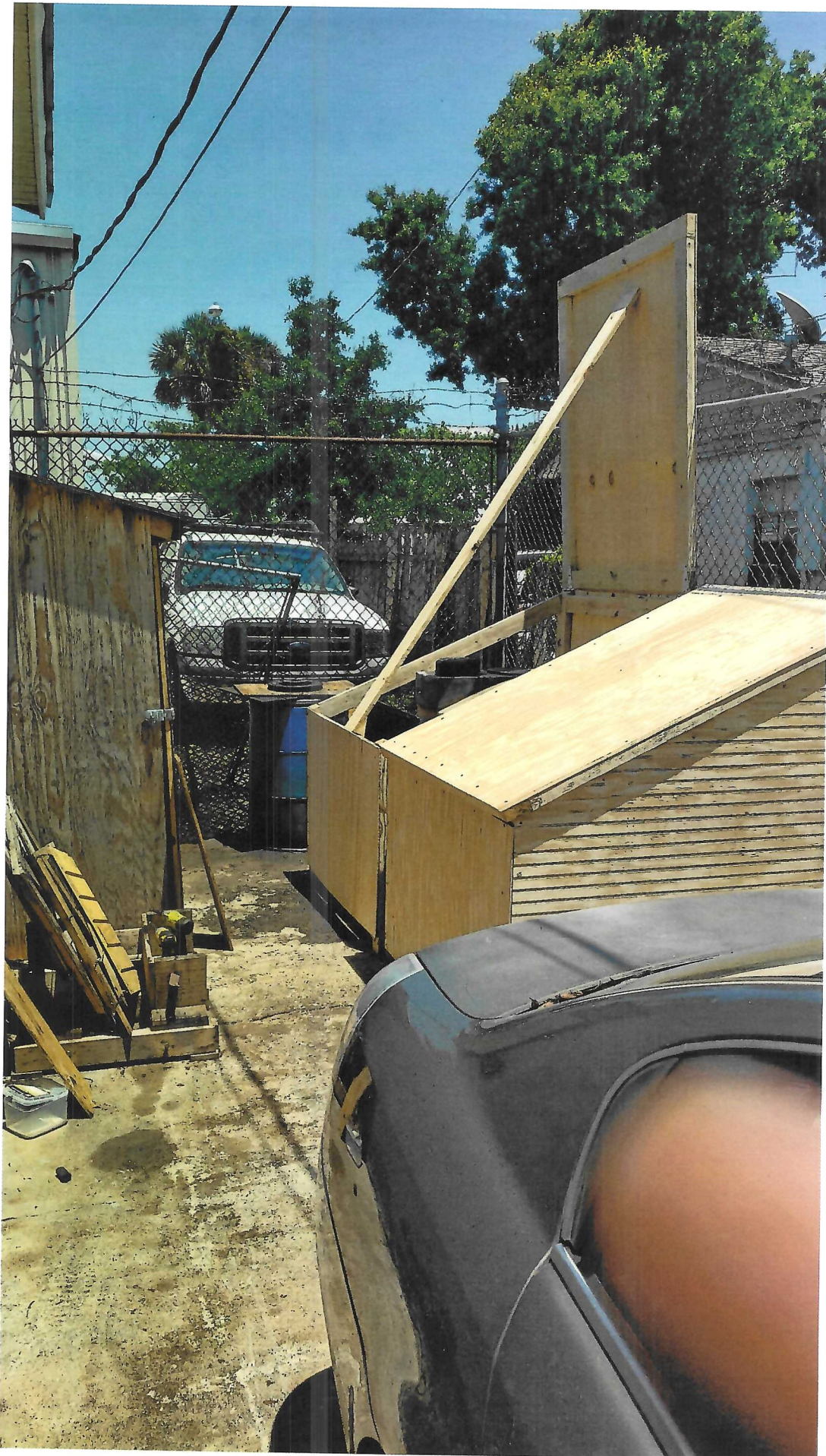
I, Jeffrey Duvall the owner of 165 Fisher Ave., Titusville, Florida 32796 I am happy to help Daves Auto and Dave Ruppe with this letter. I have no problem with the storage building next to our property. It has reduced the noises that come with his shop. I discussed the idea a little with him before he was building it and I like the way the gutter and drain spouts help water my small lawns. It also is much more attractive, and I do not have to see the oil barrels, tires, & used auto parts that used to be visible through the chain link fence that used to be there. Dave has been a kind neighbor and helpful with my car problems as well.

Thank You

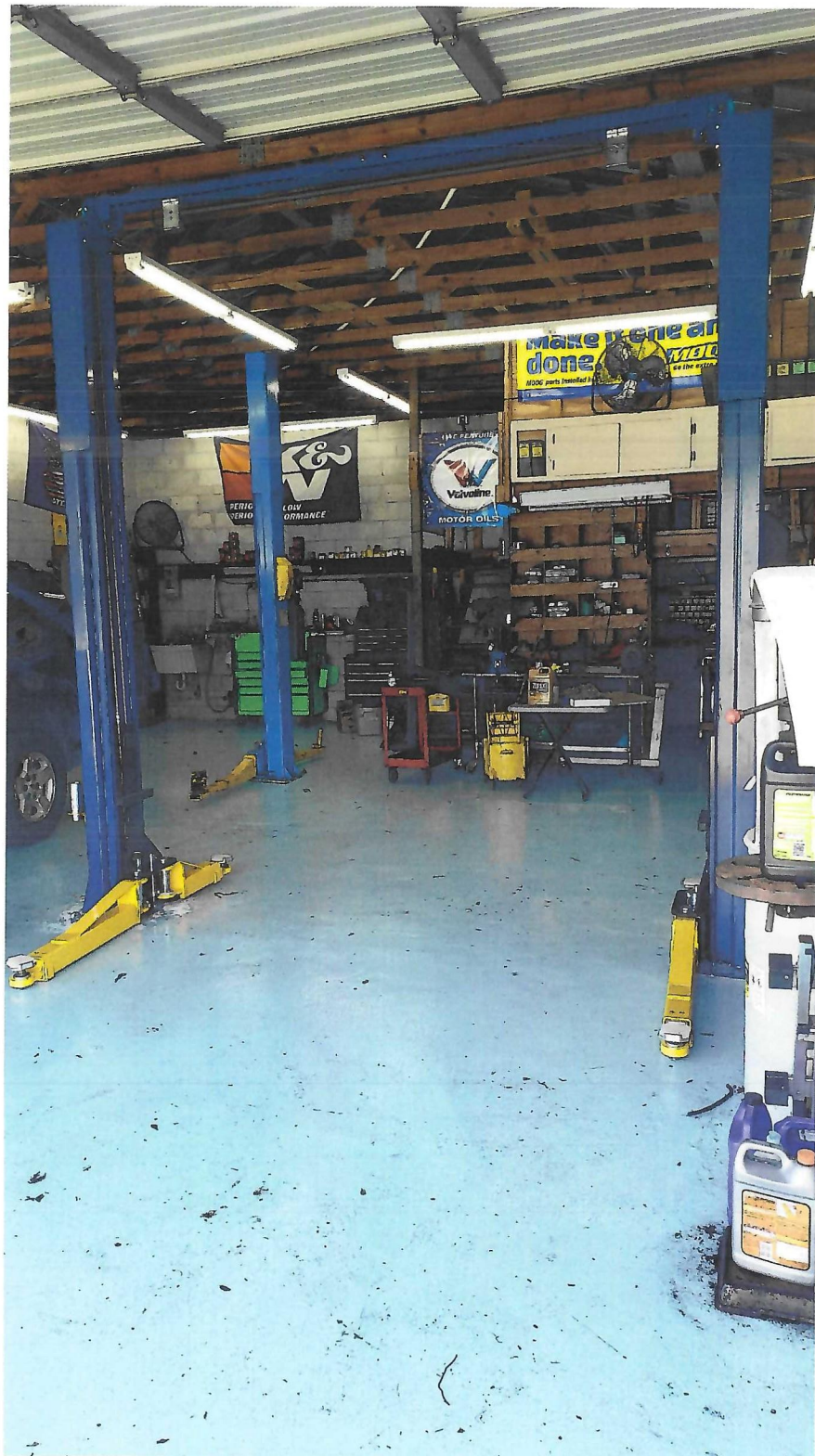
Jeffrey Duvall

A handwritten signature in cursive script that reads "Jeffrey Duvall". The signature is written in black ink and is positioned below the printed name.

















DAVE'S AUTO AND MOBILE REPAIR.COM

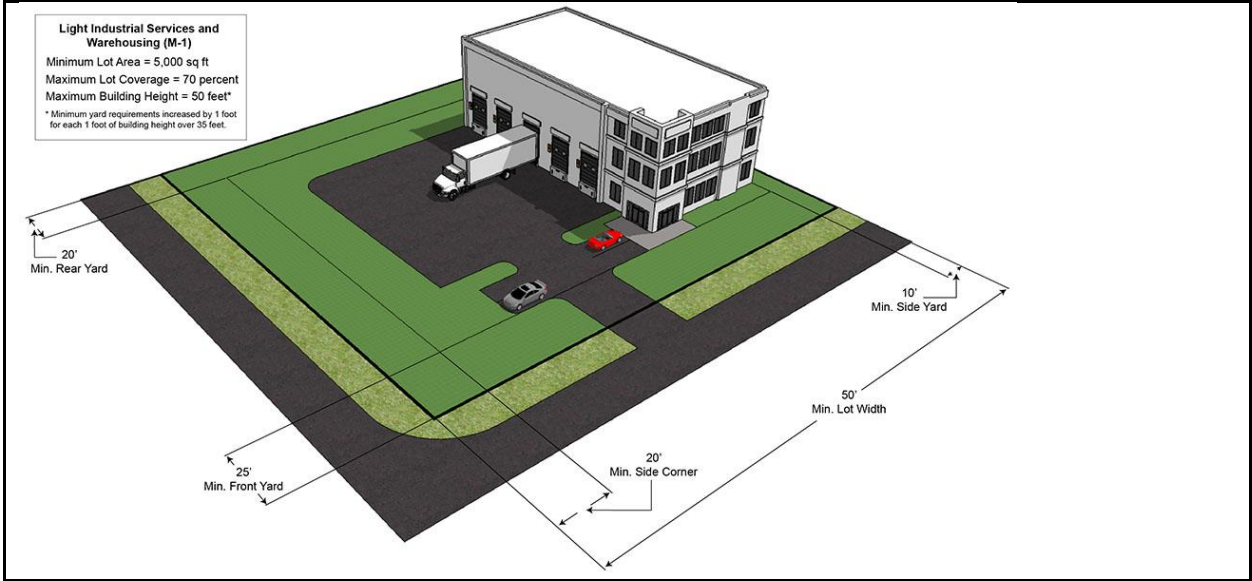


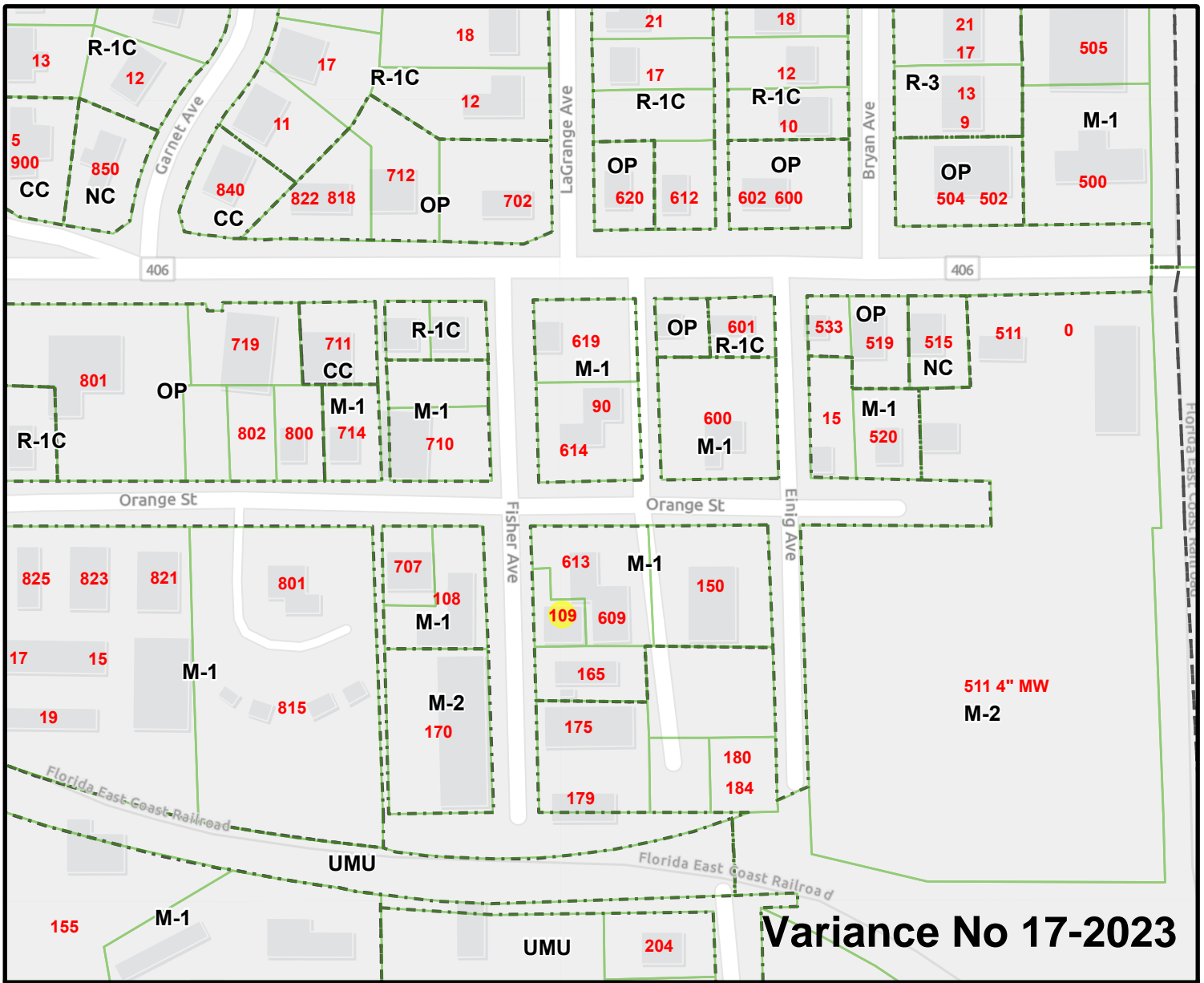




Sec. 28-317. Light Industrial Services and Warehousing (M-1).

Light Industrial Services and Warehousing (M-1)		
(a) Purpose		
The Light Industrial Services and Warehousing (M-1) District is intended to provide areas for service and repair establishments, personal storage facilities and warehousing, light manufacturing processing and distribution. It is further intended that new development within this district will accommodate limited industrial and support facilities. These regulations are designed for the general public and are intended to prevent or reduce friction between uses in the district and to protect nearby residential and commercial districts. This district is only appropriate in areas convenient to collector or higher classification roadways and served by public service and facilities.		
(b) Use Standards	Typical Lot Pattern	
See Chapter 28 Article IV and Article V		
(c) Intensity and Dimensional Standards		
Lot area, minimum (sq. ft.)		5,000
Lot width, minimum (ft.)		50
Density, maximum (du/ac)		NA
Floor area per dwelling unit, minimum (sq. ft.)		NA
Building coverage, maximum (% of lot area)		NA
Lot coverage, maximum (% of lot area)		70
Height, maximum (ft.)		50
Front yard setback, minimum (ft.)		25 ¹
Side corner yard setback, minimum (ft.)		20 ¹
Interior side yard setback, minimum (ft.)		10 ¹
Rear yard setback, minimum (ft.)		20 ¹
Accessory Use Development Standards		See Chapter 28 Article VII
NOTES:		
¹ Plus one (1) foot for each foot of building height over thirty-five (35) feet.		
<i>Typical Development Configuration (For illustrative purposes only)</i>		





Variance No 17-2023

ZONING MAP

RESIDENTIAL DISTRICTS

- RE RESIDENTIAL ESTATES
- RR RURAL RESIDENTIAL
- R-1A SINGLE FAMILY, LOW DENSITY
- R-1B SINGLE FAMILY, MEDIUM DENSITY
- R-1C SINGLE FAMILY, HIGH DENSITY
- R-2 MULTIFAMILY, MEDIUM DENSITY
- R-3 MULTIFAMILY, HIGH DENSITY
- RMH-1 RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
- RMH-2 RESIDENTIAL MANUFACTURED HOUSING PARK

COMMERCIAL DISTRICTS

- HM HOSPITAL MEDICAL
- T TOURIST
- NC NEIGHBORHOOD COMMERCIAL
- CC COMMUNITY COMMERCIAL
- RC REGIONAL COMMERCIAL
- OP OFFICE PROFESSIONAL

SPECIAL DISTRICTS

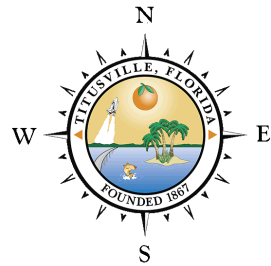
- GU GENERAL USE
- OR OPEN SPACE AND RECREATION
- UMU URBAN MIXED USE
- SMU SHORELINE MIXED USE
- RHP RESIDENTIAL HISTORIC PRESERVATION
- RMU REGIONAL MIXED USE
- PD PLANNED DEVELOPMENT
- P PUBLIC
- UV URBAN VILLAGE
- DMU DOWNTOWN MIXED USE
- IRCNR INDIAN RIVER CITY NEIGHBORHOOD RESIDENTIAL
- IRCNC INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL

INDUSTRIAL DISTRICTS

- M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2 HEAVY INDUSTRIAL
- M-3 HIGHWAY INDUSTRIAL INFILL
- PID PLANNED INDUSTRIAL DEVELOPMENT

OVERLAY DISTRICTS

- TSA TITUSVILLE SHORELINE AREA
- AIA AIRPORT IMPACT AREA
- WCA WETLAND AND CONSERVATION AREA
- ACC AREA OF CRITICAL CONCERN
- HPA HISTORIC PRESERVATION AREA



City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustments and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Variance 18-2025 - 1576 S Park Ave**
Department/Office: Planning

Recommended Action:

Consider the requested variance to allow the cumulative area of all accessory buildings or structures to exceed fifty (50) percent of the square foot area of the principal structure for property located at 1576 S Park Ave.

Summary Explanation & Background:

The applicant is requesting a variance to Land Development Regulations, Chapter 28, Section 28-391. Residential accessory buildings and structures. Section 28-391(c) - To allow the cumulative area of all accessory buildings or structures to exceed fifty (50) percent of the square foot area of the principal structure, for property located in the Single-Family Medium Density (R-1B) zoning district, at 1576 S Park Ave, Titusville, FL 32780, as submitted by Robert Beaudry & Lilleana Beaudry, owners.

Alternatives:

1. Approve the variance -- Move to approve the request for a variance to allow the cumulative area of all accessory buildings or structures to equal up to sixty-five (65) percent of the square foot area of the principal structure, not to exceed a total of 1,825 square feet.

2. Deny the variance -- Move to deny the request for a variance to allow the cumulative area of all accessory buildings or structures to exceed fifty (50) percent of the square foot area of the principal structure. (Include reasoning for denial)

Item Budgeted:

N/A

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Variance 18-2025 Staff Report
2. Application
3. Variance Justification
4. Zoning map
5. Code
6. 1576 S Park Ave - Carport
7. approved building plan
8. Survey



City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 18-2025, 1576 S Park Ave**

3 **Meeting Date:** July 23, 2025

4 **Prepared By:** Tabitha Armstrong, Planner

5 **Applicant:** Robert Beaudry & Lilleana Beaudry, owners.

6 **Background**

7 (a) Variance request: Land Development Regulations, Chapter 28, Section 28-391.
8 Residential accessory buildings and structures. Section 28-391(c) - *To allow the*
9 *cumulative area of all accessory buildings or structures to exceed fifty (50) percent*
10 *of the square foot area of the principal structure*, for property located in the Single-
11 Family Medium Density (R-1B) zoning district, at 1576 S Park Ave, Titusville, FL
12 32780, as submitted by Robert Beaudry & Lilleana Beaudry, owners.

13 (b) Location: 1576 S Park Ave, Titusville, FL. Tax No. 2204315. Parcel I.D. 22-35-
14 09-BL-7-1

15 (c) Land Description: WHISPERING HILLS GOLF ESTATES LOTS 1 & 2 BLK 7

16 (d) Future Land Use: Low Density Residential

17 (e) Zoning: Single Family Medium Density (R-1B)

18 (f) Surrounding Zoning Districts.

19 1. North: Single Family Medium Density (R-1B)

20 2. South: Multifamily Medium Density (R-2)

21 3. East: Single Family Medium Density (R-1B)

22 4. West: Single Family Medium Density (R-1B)

23 (g) Lot Characteristics: The subject property is a half-acre (21,780 sq. ft) corner lot
24 with 120 feet of frontage along S Park Ave and 180 feet of frontage along Vista

Board of Adjustments and Appeals: Variance No. 18-2025

1 Terrace. These dimensions meet the minimum 7,500 sq. ft lot area and 75-foot lot
2 width for a single-family home within the Single-Family Medium Density (R-1B)
3 zoning district.

4 (h) Uses: Single Family Residence constructed in 1955

5 **Powers of the BAA**

6 LDR Section 34-226 states that the Board shall grant a variance request when in the
7 opinion of the Board of Adjustments and Appeals, owing to special conditions, the
8 literal enforcement of such ordinance or regulations would do manifest injustice to, or
9 impose an unnecessary hardship upon the applicant. In order to authorize any variance
10 to the provisions of such ordinance, the Board must consider the following criteria:

11 (a) Special conditions and circumstances exist which are peculiar to the land,
12 structure, or building involved and which are not applicable to other lands,
13 structures or building in the same zoning.

14 (b) Special conditions and circumstances do not result from the actions of the
15 applicant.

16 (c) Granting the variance requested will not confer upon the applicant any special
17 privilege that is denied by the ordinance to other lands, buildings or structures in
18 the same zoning district.

19 (d) The literal interpretation of the provisions of the ordinance would deprive the
20 applicant of rights commonly enjoyed by other properties in the same zoning
21 district under the terms of the ordinance.

22 (e) The variance granted is the minimum variance that will make possible the
23 reasonable use of the land, building or structure.

24 (f) The granting of the variance will preserve the spirit of the ordinance and remain
25 in harmony with its general purpose and intent.

26 (g) In granting the variance, the public safety and welfare must be assured.

27 (h) In no case shall the granting of a variance result in a change of use, which would
28 not be permitted in that zone.

29 **Analysis**

30 The applicant is requesting a variance from Section 28-391(c) of the City’s Land
31 Development Regulations to allow the cumulative area of all accessory buildings or
32 structures to exceed fifty (50) percent of the square footage of the principal structure.
33 The subject property is located within the Single-Family Medium Density (R-1B)
34 zoning district and is part of Whispering Hills Golf Estates. According to the Brevard

Board of Adjustments and Appeals: Variance No. 18-2025

1 County Property Appraiser’s Office, the principal structure on the property was
2 constructed in 1955 and is listed at 2,808 square feet.

3 Section 28-391(c) states that *the cumulative area of all accessory buildings or*
4 *structures, excluding swimming pools and pool enclosures, shall not exceed fifty (50)*
5 *percent of the square footage of the principal structure.* Based on this provision, the
6 maximum allowable square footage for detached accessory structures on the subject
7 property is 1,404 square feet. The property currently contains 986 square feet of
8 detached accessory structures, leaving 418 square feet available for additional
9 structures under the existing code.

10 A permit was issued with approved plans for a carport measuring 19 feet by 22 feet,
11 or 418 square feet. The applicant erected a carport measuring 24 feet by 34 feet, or
12 816 square feet. If the variance is approved, the total area of detached accessory
13 structures on the lot would be 1,825 square feet, representing approximately 65
14 percent of the principal structure’s square footage—an excess of 421 square feet
15 beyond what is permitted by code.

16 There does not appear to be a hardship or unique physical condition on the site that
17 would have prevented the applicant from adhering to the code requirements. The
18 request is based on an after-the-fact need for compliance, rather than a demonstrated
19 inability to meet the limitations set forth in the Land Development Regulations.

20 **Recommendation**

21 Staff recommend **denial** of the variance. There are no special conditions or
22 circumstances peculiar to the property that would distinguish it from other similarly
23 situated lots within the subdivision. The lot has sufficient area to accommodate a
24 carport that complies with the square footage limitations for accessory structures as
25 outlined in the Land Development Regulations. The request is based on a circumstance
26 that is the result of actions by the applicant.



To be Completed by Staff

Application No. _____

Date Received: _____

Received by: _____

APPLICATION FOR VARIANCE

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.

1. Project Location	Property Address/Location Description <i>1576 S PARK AVE Titusville FL 32870</i>		
2. Applicant/ Owner	Name of Applicant/Contact <i>Lilleana</i>	Name of Owner <i>Robert Beaudry</i>	
	Street Address <i>1576 S PARK AVE</i>	Street Address <i>1576 S PARK AVE</i>	
	City State Zip <i>Titusville FL 32780</i>	City State Zip <i>Titusville FL 32780</i>	
	Telephone # <i>(706) 206-6141</i> Fax #	Telephone # <i>(904) 237-4271</i> Fax #	
	E-Mail Address <i>lilleana@gmail.com</i>	E-Mail Address <i>BB DODGE DAD E AOL.COM</i>	
3. Applicant Status	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Agent <input type="checkbox"/> Other		
4. Parcel ID		Tax Acct.	
5. Site Size	Acres:	Square Feet:	
6. Property Information	Current Zoning		Current Use of Property
7. Variance(s) Requested	Section Number 1) <i>28-391</i>	LDR Requirement 1) <i>50%</i>	Variance Requested 1) <i>792</i>
	2)	2)	2)
	1)	3)	3)
	4)	4)	4)
	5)	5)	5)
8. Narrative	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application)		

All applications shall require Community Development staff review prior to submittal.

- All applications shall be submitted to the Department electronically and officially logged in by 4:00 p.m. on deadline dates.
Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information is submitted. Meeting dates for incomplete applications will not be set until all required information is submitted.
- Petitions requiring review from other boards or commissions prior to being forwarded to the Board of Adjustments and Appeals (BAA) are not guaranteed placement on the BAA schedule available on the City's website.

ACKNOWLEDGEMENT

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the City Council, Board of Adjustment & Appeals, and Planning & Zoning Commission on this topic to properly noticed public hearings or to written communication to the City Clerk's Office, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/ (Signature*)  (Date) 6/11/25

* By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.

FOR OFFICE USE ONLY

Date Received: _____
Accepted By: _____
Hearing Date: _____
Case Number: _____



SUBMITTAL CHECKLIST

Please fill out the following and submit the documents to the Community Development Department electronically. Payment of fees does not ensure a favorable decision. Additional information may include documents initially waived at the pre-application meeting but subsequently determined necessary by staff.

1.	Complete Application and Fees
2.	Warranty Deed
3.	Notarized Owner Authorization Form (If applicable)
4.	Legal Description (from a certified survey)
5.	Certified Survey (sealed and containing permanent reference points as described by Chapter 177, Florida Statutes, with bearings, distances and closures) in electronic PDF format.
6.	Digital plot or site plan, drawn to scale, illustrating the variance requested.
7.	Names, addresses and address labels for all property owners within 100 feet of the subject property. <i>Note: This listing is available from either the Brevard County Property Appraiser's Office or the City of Titusville Planning Department. Current charge for this service is \$35.00.</i>
8.	Pre-Application Meeting Held – Date: Staff in Attendance:

Applicant Signature**

Date

/s/

John G. Beverly

6/11/25

** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.

Variance Justification

In answering the questions below, please be as specific as possible. Your answers will help the Board of Adjustments and Appeals and City staff to properly evaluate your variance request.
(Please attach a separate sheet if necessary)

1. Why are you unable to comply with the requirements? What hardship or injustice are you claiming?
*I can not comply with hardship requirements because the Carport is already built.
Please see Attached document.*

2. What is special about your property that would justify treating it differently than most other properties? (Examples of important special conditions include: narrow or odd shaped lot; excessive slope of land; soil or drainage limitations; unusual location of existing buildings on the lot; etc.) If the special conditions involve an existing building or structure, when was it built and are you the original owner?

Please see Attached document.

3. Is your variance request the minimum change from the requirements that you need to overcome your hardship? Explain your answer. (For example, suppose you are requesting a 5 foot variance to the side yard setback requirement in order to build a single car garage 15 feet wide. Your request would not be the minimum since a single car garage 11 feet wide would be adequate and would only require a 1 foot variance.)

Please see Attached document.

4. Explain why approval of your variance request would not likely result in harm to your neighbor's properties or to the general public.

Please see Attached document.

Variance Justification.

6/10/25

(1) Answer's.

I can not comply with the requirements because the carport is already built.

(A) The hardship would be the loss of my carport at the cost of \$12,000 plus, the cost to have someone tear it down as it can not be modified, Not taking in consideration of the damage that would be left on my cement slab. And the garage that it is attached to.

(B) The injustice that I'm claiming is the carport was built according to the Res Accessory Structure Permit. I received on 3/10/25 from the city of Titusville Permit.

PBP. 25-04-29 Description: Install Carport 24x34

(2) Answer.

There is nothing special about the property. The carport was built along the guidelines of the permit issued by Res Accessory Structure Permit of city of Titusville # PBP 25-0429

(3) Answer

Variance request is simple please honor the permit that was issued by the Res Accessory Structure Permit # PBP 25-0429

(4) Answer.

So the carport was built to withstand 170 mph. winds and was constructed to the city of Titusville guidelines and →

Continue

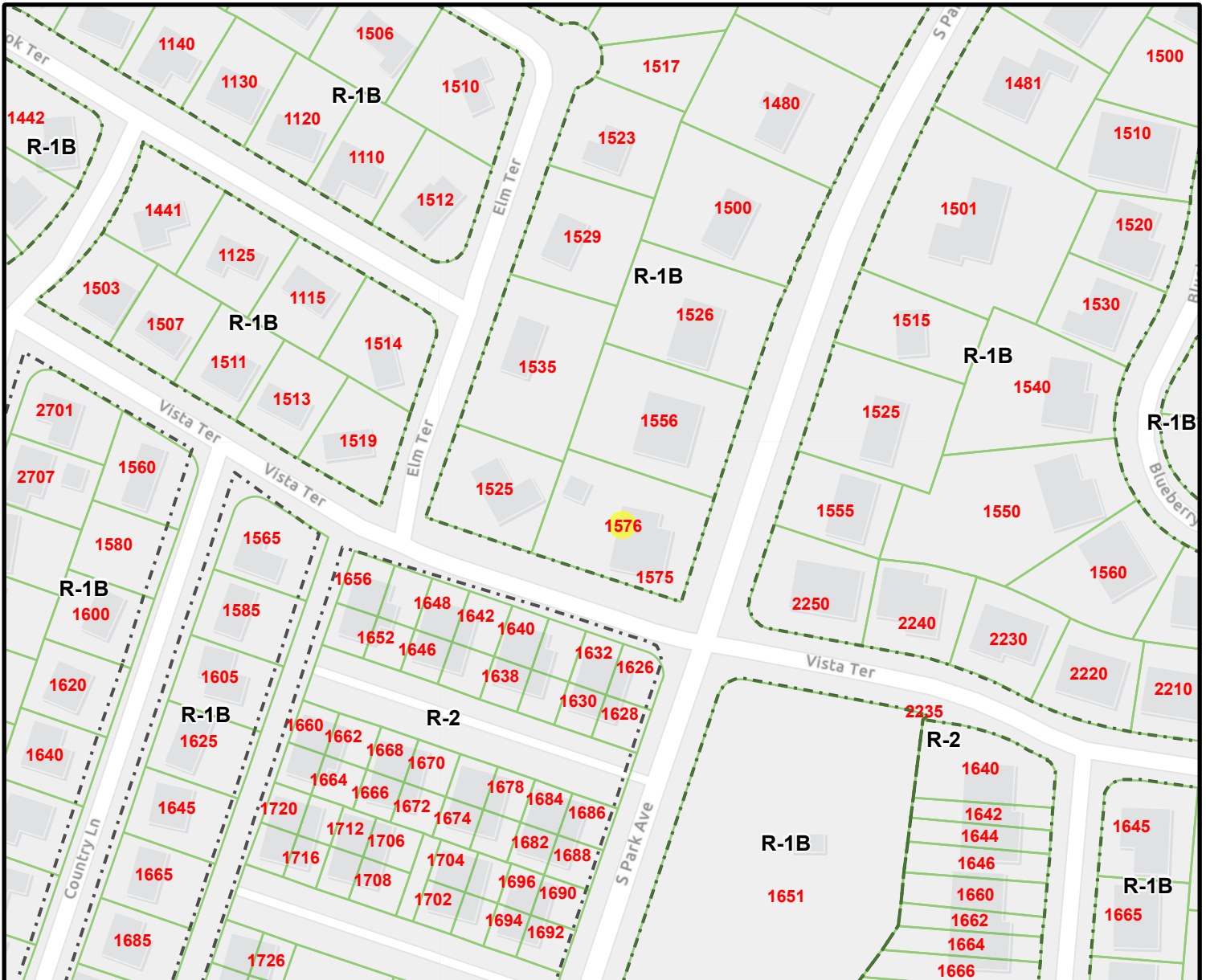
property boundaries to make sure it does NOT Interfere with neighbors and general public. It is bolted down to cement there is no danger to any of the neighboring Houses. or properties.

Note

Just a bit of information. before I built the Carport, I had called the city of Titusville, And I talked to Mr Justin that was a young man in the office, I called to make sure that the permit was for a 24x34 Carport. He said yes there's no problem. your permit is for that size.

Thank you: Robert Beaudry.
Sincerely.

Phil Beaudry



ZONING MAP Variance No 18-2025

RESIDENTIAL DISTRICTS

- RE RESIDENTIAL ESTATES
- RR RURAL RESIDENTIAL
- R-1A SINGLE FAMILY, LOW DENSITY
- R-1B SINGLE FAMILY, MEDIUM DENSITY
- R-1C SINGLE FAMILY, HIGH DENSITY
- R-2 MULTIFAMILY, MEDIUM DENSITY
- R-3 MULTIFAMILY, HIGH DENSITY
- RMH-1 RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
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COMMERCIAL DISTRICTS

- HM HOSPITAL MEDICAL
- T TOURIST
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SPECIAL DISTRICTS

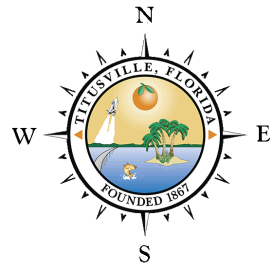
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- OR OPEN SPACE AND RECREATION
- UMU URBAN MIXED USE
- SMU SHORELINE MIXED USE
- RHP RESIDENTIAL HISTORIC PRESERVATION
- RMU REGIONAL MIXED USE
- PD PLANNED DEVELOPMENT
- P PUBLIC
- UV URBAN VILLAGE
- DMU DOWNTOWN MIXED USE
- IRC-N INDIAN RIVER CITY NEIGHBORHOOD RESIDENTIAL
- IRC-C INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL

INDUSTRIAL DISTRICTS

- M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2 HEAVY INDUSTRIAL
- M-3 HIGHWAY INDUSTRIAL INFILL
- PID PLANNED INDUSTRIAL DEVELOPMENT

OVERLAY DISTRICTS

- TSA TITUSVILLE SHORELINE AREA
- AIA AIRPORT IMPACT AREA
- WCA WETLAND AND CONSERVATION AREA
- ACC AREA OF CRITICAL CONCERN
- HPA HISTORIC PRESERVATION AREA



Sec. 28-391. Residential accessory buildings and structures.

- (a) Accessory buildings and structures may be erected on any lot, provided that such buildings and structures comply with the provisions of this section.
- (b) No accessory building or structure shall be constructed on any lot of record which does not have a completed principal structure on the same lot.
- (c) The cumulative area of all accessory buildings or structures, excluding swimming pools and pool enclosures, shall not exceed fifty (50) percent of the square foot area of the principal structure.
- (d) Any accessory building or structure, excluding swimming pools and pool enclosures, exceeding twenty (20) percent of the square foot area of the principal structure shall be compatible in architectural style, color and exterior facing material to the principal structure.
- (e) A building permit is required for all accessory buildings and structures. Accessory structures not exceeding one hundred twenty (120) square feet, which are not physically anchored shall not require a permit. No accessory structure or equipment, such as permanently installed generators, shall encroach into a utility/drainage easement.
- (f) Accessory structures shall not be located in the front yard with the following exception:
 - (1) One (1) detached landscape feature, arbor, or trellis under one hundred twenty (120) square feet, with a maximum height of twelve (12) feet, a minimum of five (5) feet from the property line, and shall not be placed in the sight distance triangle as specified in the City's Transportation Technical Manual. Such landscape feature shall not be used for storage, including vehicular storage.
 - (2) Accessory buildings and structures, including a swimming pool, may be located in the front yard of a single-family residential lot when the lot is five hundred (500) feet or greater in depth, provided that all accessory structures are set back a minimum of one hundred (100) feet from the front property line.
- (g) Accessory buildings and structures shall meet the standards for the zoning district in which they are located with the following exceptions:
 - (1) Rear yard setbacks for accessory buildings and structures (all dimensions are in feet):

	RE	RR	R-1A	R-1B	R-1C	R-2	R-3	RMH-1	RMH-2	RHP	SMU	RMU
Detached Building/ Structures	10	10	7.5	5	5	5	5	5	15	5	5	5
Attached Screen Porches	20	20	20	15	15	10	10	7.5	15	15	15	15
Swimming Pools	13	13	10.5	8	8	8	8	8	18	8	8	8
Pool Enclosures	10	10	7.5	5	5	5	5	5	15	5	5	5

- (2) Side yard setbacks for accessory buildings and structures (all dimensions are in feet):

	RE	RR	R-1A	R-1B	R-1C	R-2	R-3	RMH-1	RMH-2	RHP	SMU	RMU

Detached Building/ Structures	10	10	7.5	5	5	5	10	5	15	5	5	5
Attached Screen Porches	20	15	15	10	10	10	10	7.5	15	10	15	15
Swimming Pools	23	18	18	13	13	13	13	10.5	18	13	8	8
Pool Enclosures	20	15	15	10	10	10	10	7.5	15	10	5	5

(Ord. No. 32-2018, § 1, 7-24-18; Ord. No. 12-2019, § 3, 4-9-19)

TABLE 1
BOW/RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING SPECIFICATIONS

WIND EXPOSURE CATEGORY	ULTIMATE WIND SPEED (MPH)	NOMINAL WIND SPEED (MPH)	MAXIMUM GROUND SNOW LOAD (PSF)	MAXIMUM POST/RAFTER SPACING (FEET)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLS AND POSTS OR GIRTS (INCHES)	
					METAL PANELS	SPACING
B, C OR D	105 TO 170	82 TO 132	30	4.0	26 gauge	6

NOTES: 1. Specifications applicable to 26 or 29 gauge metal panels fastened directly to 12 or 14 gauge steel tube bow frames.
2. Fasteners consist of #12-14 x 3/8" self-drilling screws without control seal washer.
3. Specifications applicable only for mean roof height of 24 feet or less and roof slopes of 7 to 27 degrees (1.5:12 to 6:12 pitch). Spacing requirements for other roof heights and/or slopes may vary.

APPROVED PRODUCTS LIST

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	HVHZ	APPROVAL No. & DATE
STRUCTURAL COMPONENTS	ROOF DECK	CAROLINA CARPORTS, IIIC, 26 Ga. AG Roof Panel	IIIC	12/12/23 F.6586.1-P7 06/20/23
		26 Ga. FBR Roof Panel	IIIC	FL42078.1-R0
STRUCTURAL COMPONENTS	STRUCTURAL WALL	CAROLINA CARPORTS, IIIC, 26 Ga. P/S Wall Panel	IIIC	12/12/23 F.6702.1-P7 06/20/23
		26 Ga. Dutch Lap Wall Panel	IIIC	FL42077.1-R0
STRUCTURAL COMPONENTS	FLOOD VENTS	CPAWL SPACE DOOR SYSTEMS 8x16 Model CSEA816	NO	07/24/24 FL29622.1-R2
		ELUMIR DOOR AND METAL COMPANY Series 402-14 Series 407	NO	02/28/21 FL17966.4-R3 FL17966.5-R3
EXTERIOR DOORS	SWINGING	CAROLINA CARPORTS, IIIC, 26 Ga. Steel Roll Up Sheet Door 8' (Max. Width) 26 Ga. Steel Door 10' (Max. Width) 26 Ga. Steel Door 12' (Max. Width) 26 Ga. Steel Door 16' (Max. Width) 26 Ga. Steel Door	NO	12/13/23 FL16306.2-R6 FL16306.4-R6 FL16306.1-R6 FL41355.1-P1
EXTERIOR DOORS	ROLL-UP	CGI WINDOWS AND DOORS Model SH-4100A	YES	04/16/24 FL23358.2-R8
WINDOWS	SINGLE HUNG			

NOTE: THE HIGH VELOCITY HURRICANE ZONE (HVHZ) INCLUDES BROWARD & DADE COUNTIES.

GENERAL NOTES:

THESE PLANS PERTAIN ONLY TO THE STRUCTURE, INCLUDING MAIN WIND FORCE RESISTING SYSTEM (MWFRS), COMPONENTS AND CLADDING, AND BASE RAIL ANCHORAGE. OTHER DESIGN ISSUES, INCLUDING, BUT NOT LIMITED TO, PLUMBING, ELECTRICAL, INGRESS/EGRESS, PROPERTY SET-BACKS, OR OTHER LOCAL ZONING REQUIREMENTS ARE THE RESPONSIBILITY OF OTHERS.

THESE STRUCTURES ARE DESIGNED AS UTILITY/STORAGE BUILDINGS CAPABLE OF SUPPORTING THE DEAD LOAD OF THE STRUCTURE AND APPLICABLE LIVE AND WIND LOADS. IMPROVEMENTS NOT SPECIFICALLY ADDRESSED HEREIN, WHICH EXERT ADDITIONAL LOADS ON THE STRUCTURE SHALL BE AT THE OWNER'S RISK. CAROLINA CARPORTS SHALL NOT BE RESPONSIBLE FOR STRUCTURAL DAMAGE OR FAILURE DUE TO THE APPLICATION OF ADDITIONAL LOADS.

ALL STEEL TUBING SHALL BE 55 KSI STEEL OR BETTER. ALL METAL PANELS SHALL BE 80 KSI STEEL OR BETTER.

FASTEN METAL ROOF AND WALL PANELS TO FRAMING WITH #12 x 3/8" SELF DRILLING FASTENERS WITH CONTROL SEAL WASHERS AT AN AVERAGE SPACING OF 8" FOR 29 GAUGE PANELS AND 6" FOR 26 GAUGE PANELS.

ALL FIELD CONNECTIONS SHALL BE #12 x 3/8" SELF DRILLING FASTENERS (SDF) UNLESS NOTED OTHERWISE.

ALL WELDED CONNECTIONS SHALL BE SHOP WELDED UNLESS NOTED OTHERWISE.

GROUND ANCHOR REQUIREMENTS: INSTALL HELICAL ANCHORS WITHIN 6" OF EACH CORNER POST AND AT A MAXIMUM SPACING OF 25' ALONG THE BASE RAIL. INSTALL GROUND RODS (#4 THREADED REBAR) BETWEEN THE HELICAL ANCHORS AT A MAXIMUM SPACING OF 5' AND A MINIMUM SPACING OF 4' ALONG THE BASE RAIL. HELICAL ANCHORS AND GROUND RODS ARE NOT REQUIRED FOR CONCRETE FOOTING AND/OR CONCRETE SLAB CONSTRUCTION.

CONCRETE ANCHORS SHALL BE SIMPSON STRONG-TIE TITEN HD SCREW ANCHOR OR AN APPROVED EQUAL.

POST/RAFTER BRACING: BRACE ON EVERY POST/RAFTER CONNECTION, EXCEPT FOR END WALLS AND HEADERS.

PROVIDE LONGITUDINAL BRACING ON TOP OF THE BOTTOM CHORD OF THE ROOF TRUSS FOR THE FULL LENGTH OF THE BUILDING AS INDICATED.

GALVANIZATION: METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT DIRECTLY EXPOSED TO THE WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS AND NAILS EXPOSED DIRECTLY TO THE WEATHER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

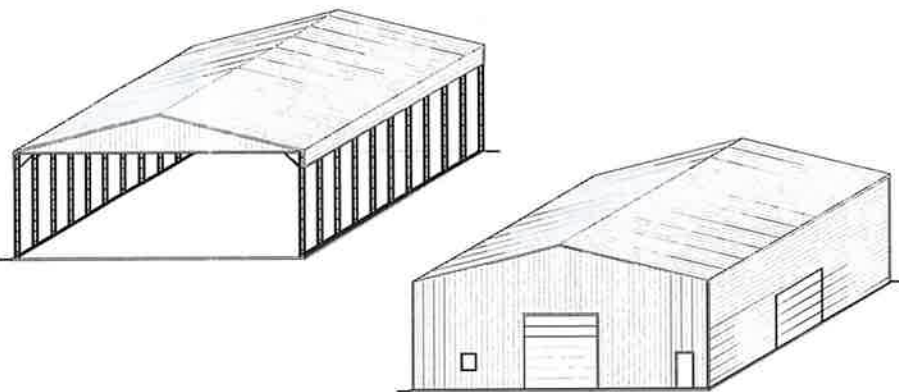
STANDARD BUILDING DETAILS

40 ft SPAN

LIGHT FRAME CONSTRUCTION

NOTE: USE 2 1/2" x 2 1/2" 14 Ga.
 2 1/4" x 2 1/4" 12 Ga.
STEEL TUBE FOR ALL FRAME AND BASE RAIL MEMBERS UNLESS OTHERWISE SHOWN.

NOTE: THESE PLANS INCLUDE STANDARD DETAILS THAT CAN BE USED FOR A WIDE RANGE OF APPLICATIONS. IF SITE SPECIFIC PLANS ARE REQUIRED, A SEPARATE SET OF PLANS WILL NEED TO BE PREPARED.



CAROLINA CARPORTS INC.
P.O. BOX 1263
DOBSON, NC 27017
TOLL FREE 1-800-670-4262
LOCAL 336-367-6400
FAX 336-367-6410

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METAL CARPORT INSTALLATION PLANS AND DETAILS AND FRAMING AND FASTENER SPECIFICATIONS

CAROLINA CARPORTS, INC.
187 Cardinal Ridge Trail
DOBSON, NORTH CAROLINA 27017

THE OWNER IS RESPONSIBLE FOR OBTAINING A BUILDING PERMIT, IF NEEDED, AND FOR COMPLYING WITH ALL LOCAL BUILDING CODE REQUIREMENTS.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE 2021 AND THE FLORIDA BUILDING CODE, EIGHTH EDITION (2023) INCLUDING SECTION 1609. THE PLANS ARE VALID UNTIL THE NEXT REVISION OF THE FLORIDA BUILDING CODE.

BUILDING CODE INFORMATION	
OCCUPANCY CATEGORY	II
USE GROUP	U or S
CONSTRUCTION TYPE	2B

DESIGN LOADS	
MIN. DEAD LOAD	5 PSF
MIN. FLOOR LIVE LOAD	125 PSF
MIN. ROOF LIVE LOAD	20 PSF
MIN. GROUND SNOW LOAD	0 PSF
MAX. GROUND SNOW LOAD	
MIN. ULTIMATE WIND SPEED	SEE TABLE 1
MAX. ULTIMATE WIND SPEED	
EXPOSURE CATEGORY	
SEISMIC RESPONSE COEFFICIENT	0.500

IMPORTANCE FACTORS	
WIND Iw	1.0
SNOW Is	1.0
EARTHQUAKE Ie	1.0

CONCRETE FOUNDATION DESIGN RECOMMENDATIONS:

CONCRETE INFORMATION AND DETAILS SHOWN IN THESE PLANS ARE FOR INFORMATION ONLY. THE CONCRETE SLAB AND FOUNDATION ARE BY OTHERS. THE OWNER IS RESPONSIBLE FOR PROVIDING A SUITABLE FOUNDATION FOR THE PROPOSED STRUCTURE AND COORDINATING CONCRETE STRENGTH AND FOUNDATION DEPTH REQUIREMENTS WITH THE LOCAL BUILDING CODE OFFICIALS.

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS OR AS REQUIRED BY LOCAL BUILDING CODE. THE USE OF HIGHER STRENGTH CONCRETE IS ACCEPTABLE.

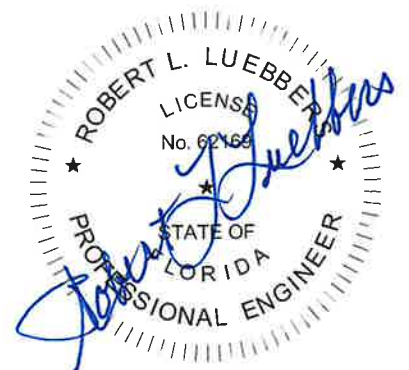
COVER OVER REINFORCING STEEL: MINIMUM CONCRETE OVER REINFORCING BARS SHALL BE 3 INCHES WHERE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER AND 1 1/2" ELSEWHERE.

REINFORCING STEEL: THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40. THE USE OF FIBER REINFORCED CONCRETE (FRC) OR WELDED WIRE FABRIC (WWF) IS ACCEPTABLE.

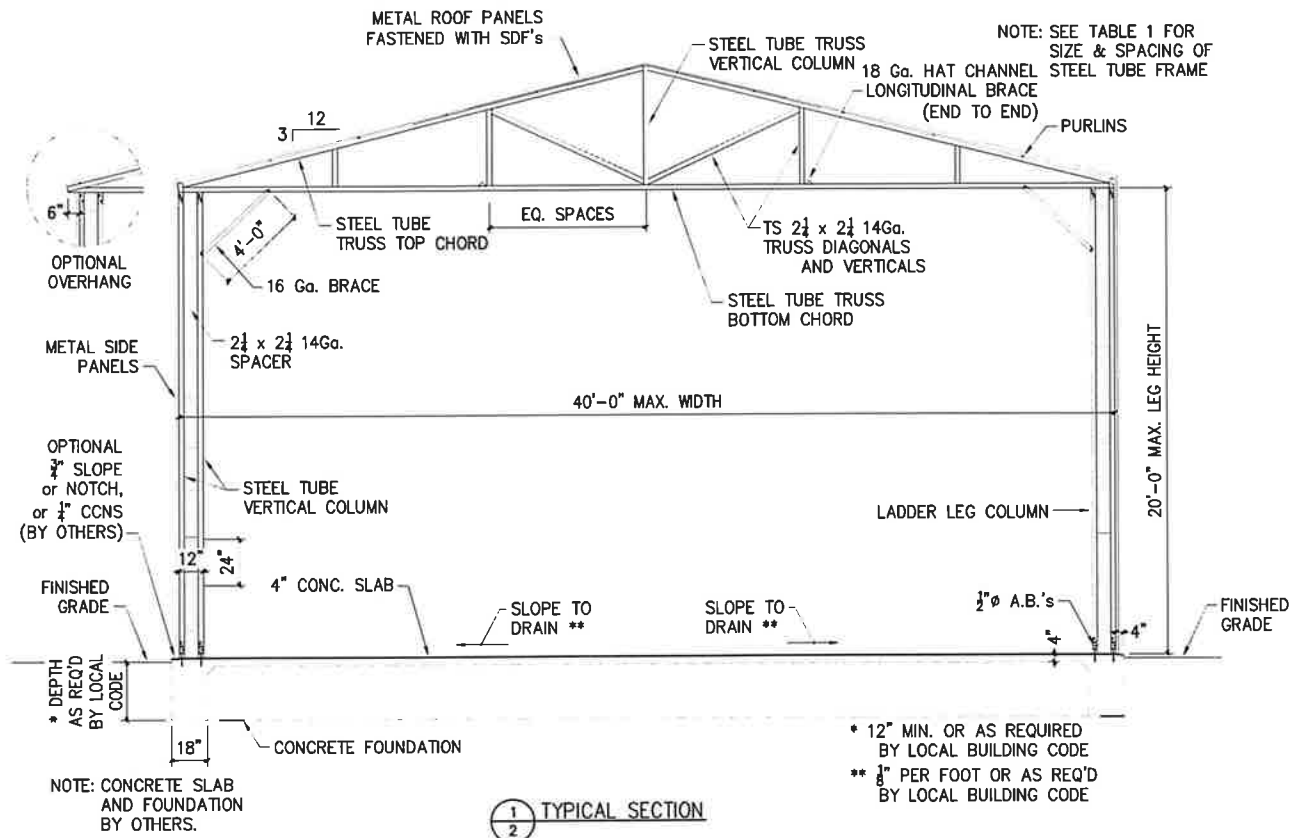
These plans have been provided for the purpose of obtaining a building permit for:

Robert Beaudry
1576 Park Avenue
Titusville, FL 32780

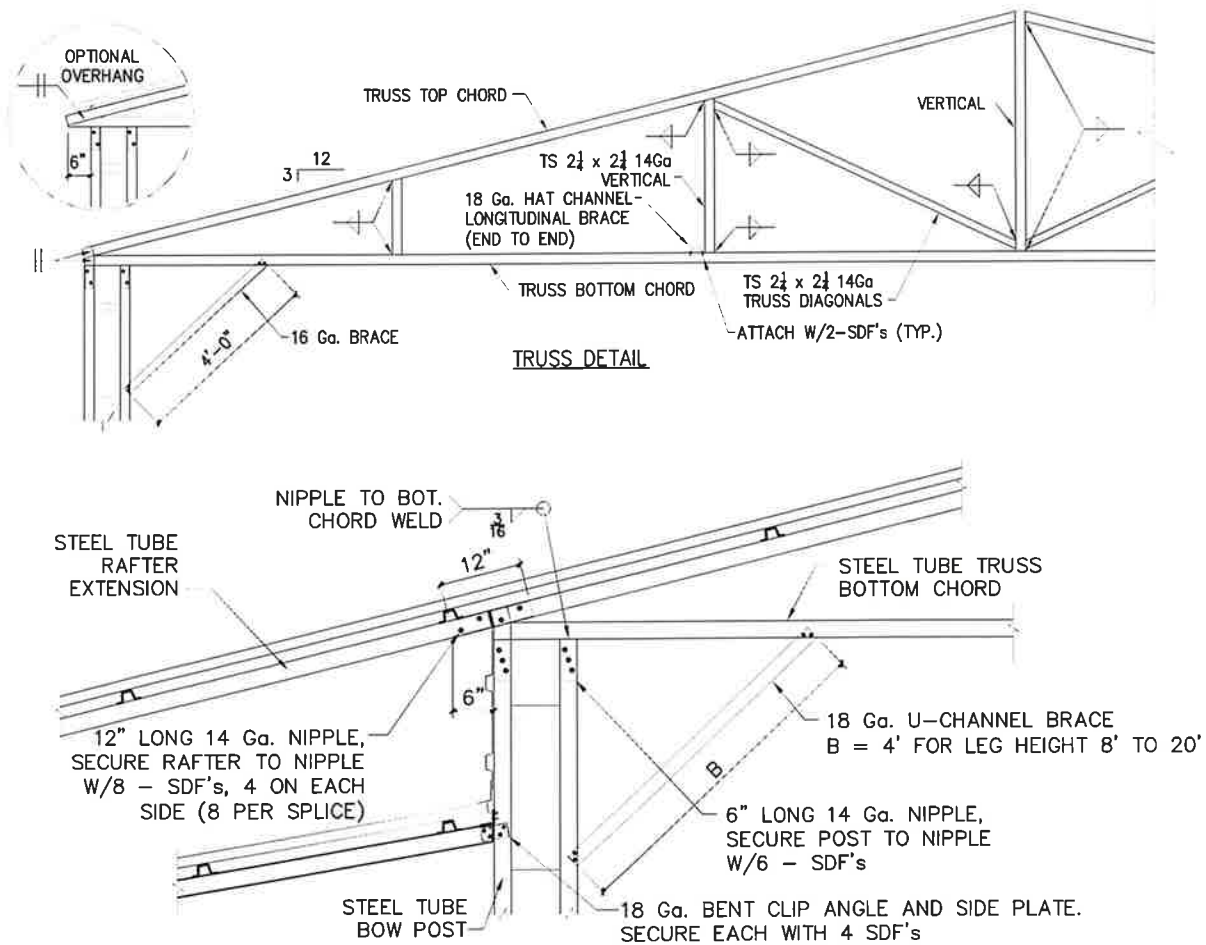
Use of these plans by anyone else or for any other purpose is prohibited.



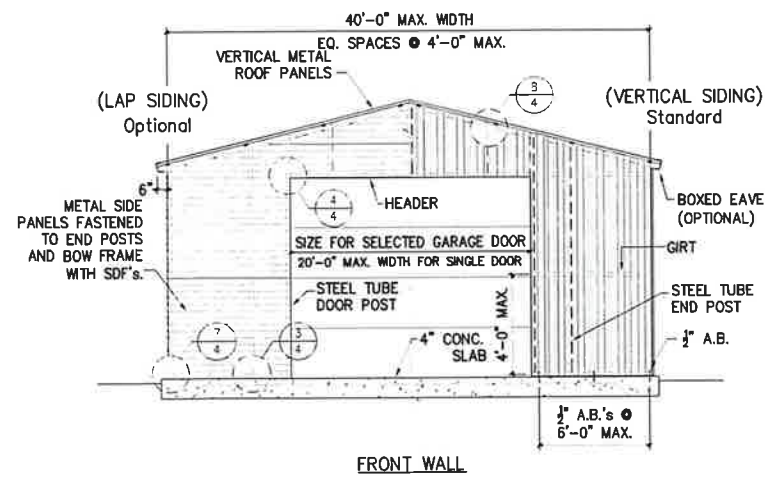
01/05/2025
SHEET 1 OF 4



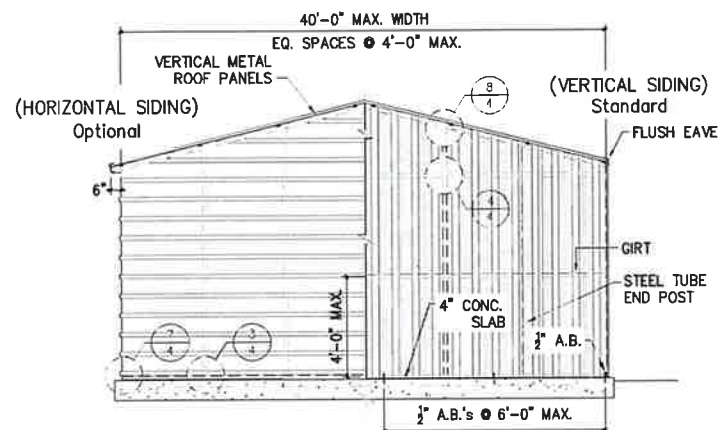
1 TYPICAL SECTION



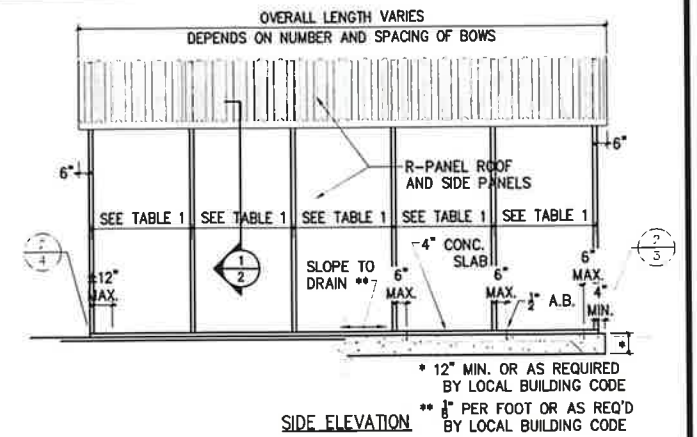
TRUSS CONNECTION DETAIL



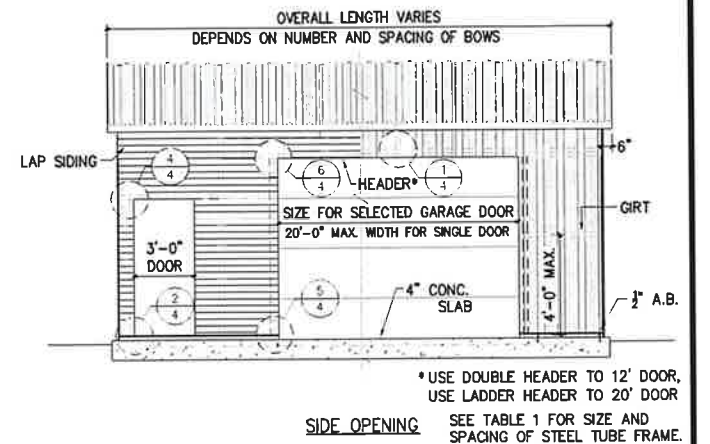
FRONT WALL



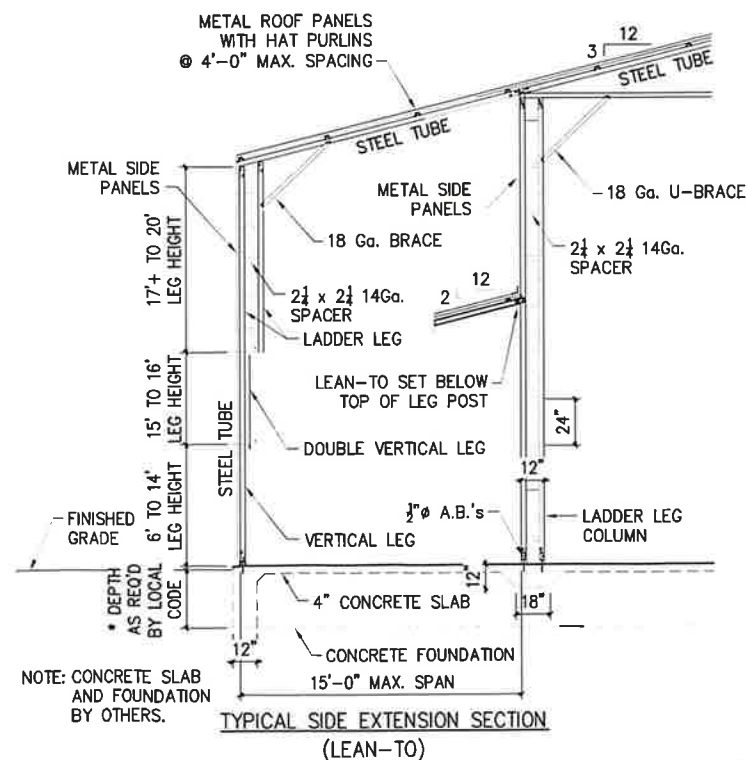
REAR WALL



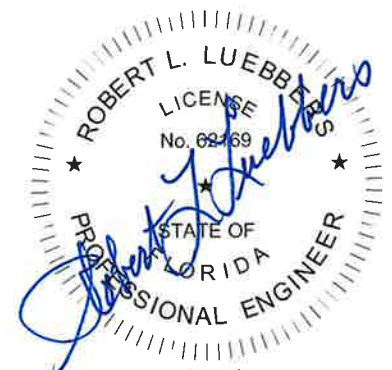
SIDE ELEVATION



SIDE OPENING

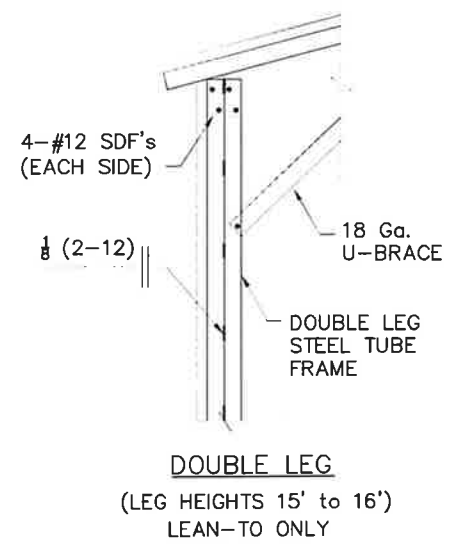
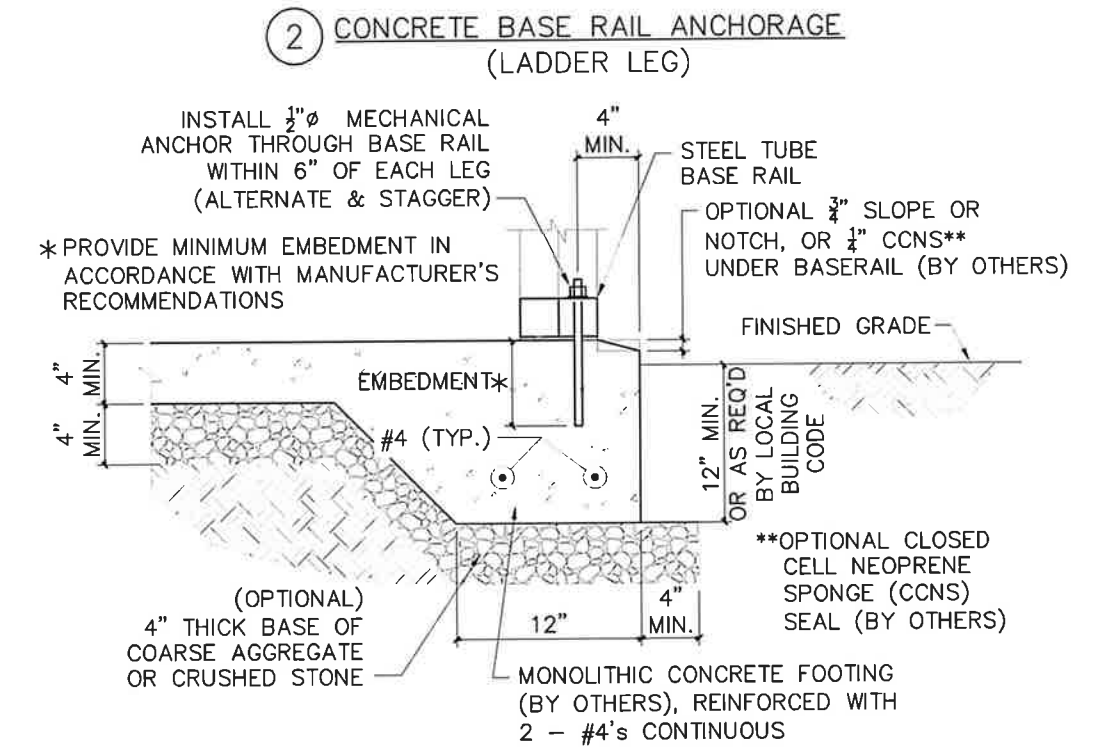
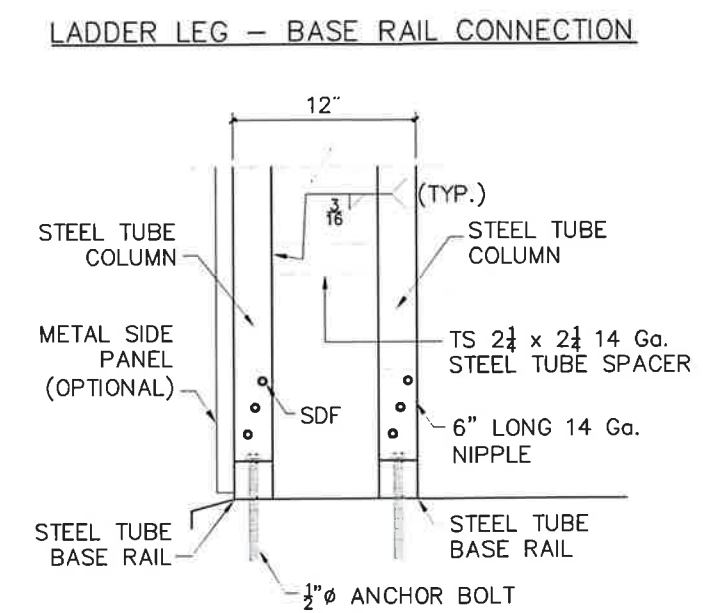
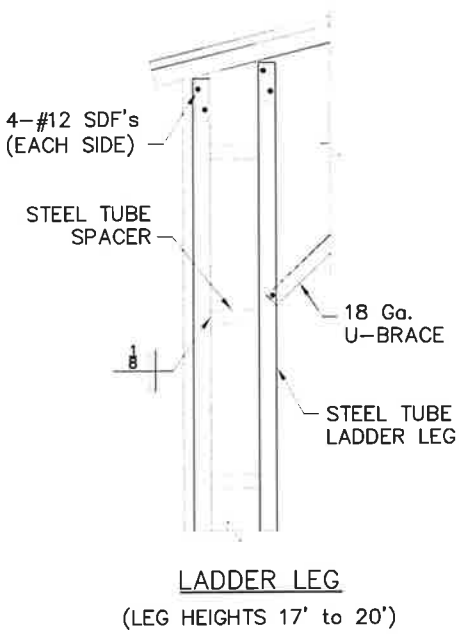
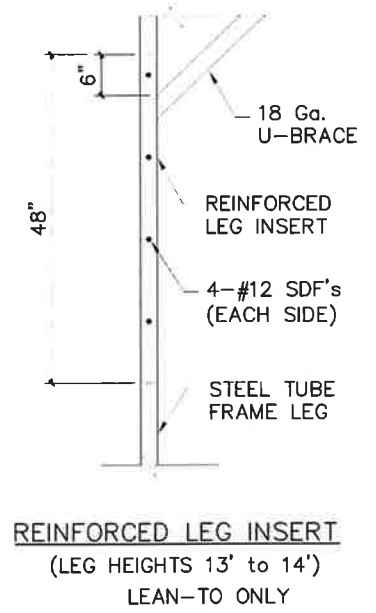
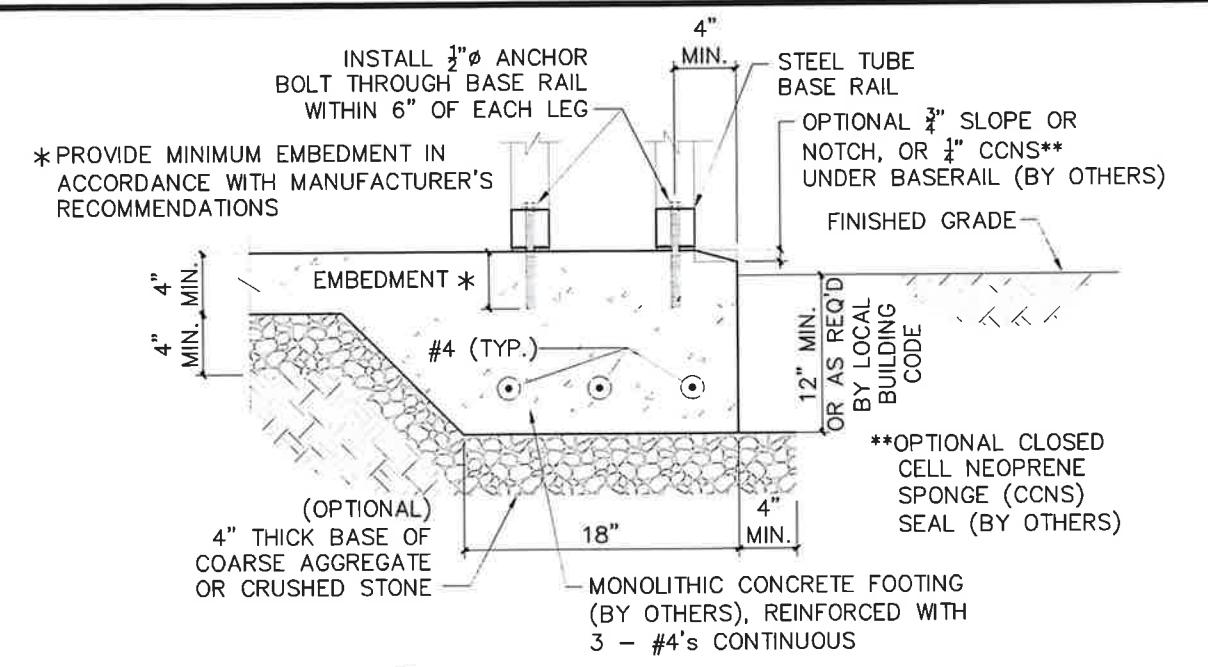
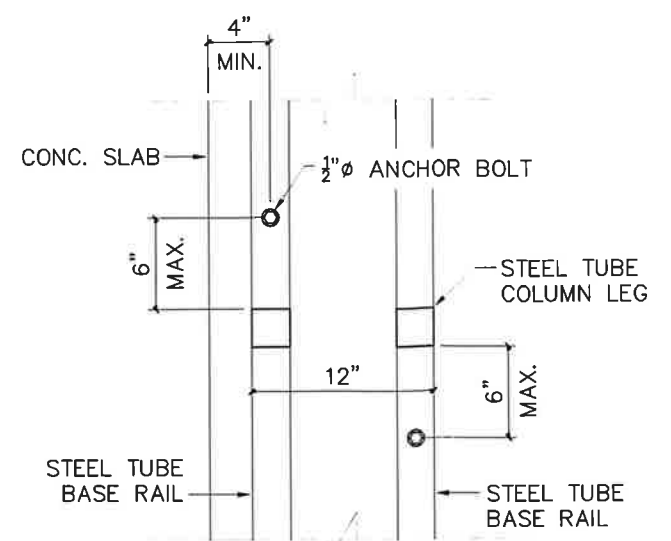
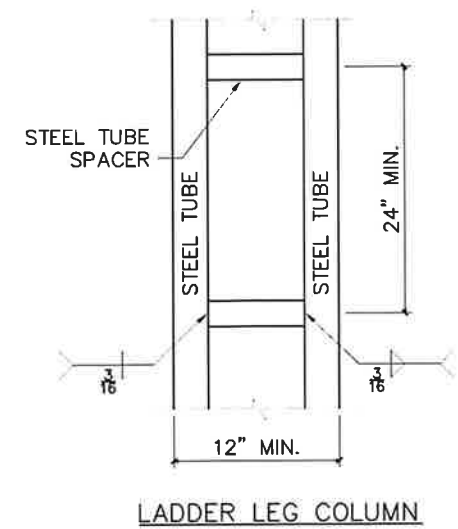
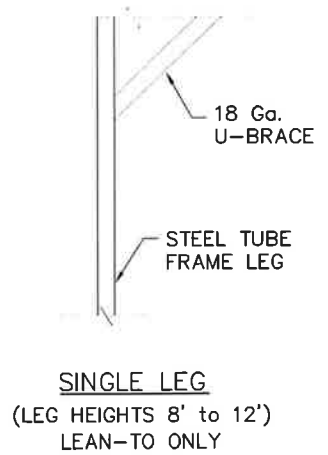


TYPICAL SIDE EXTENSION SECTION (LEAN-TO)



01/05/2025

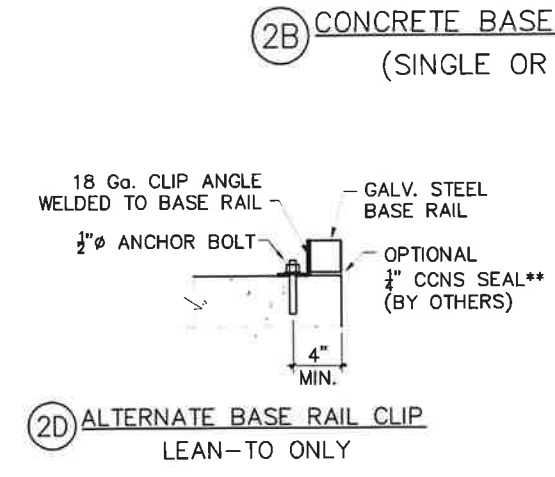
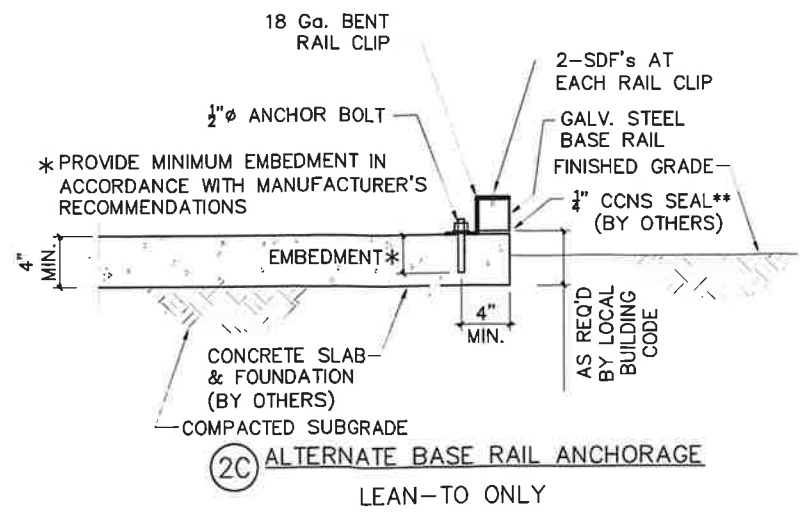
SHEET 2 OF 4



BREAKAWAY

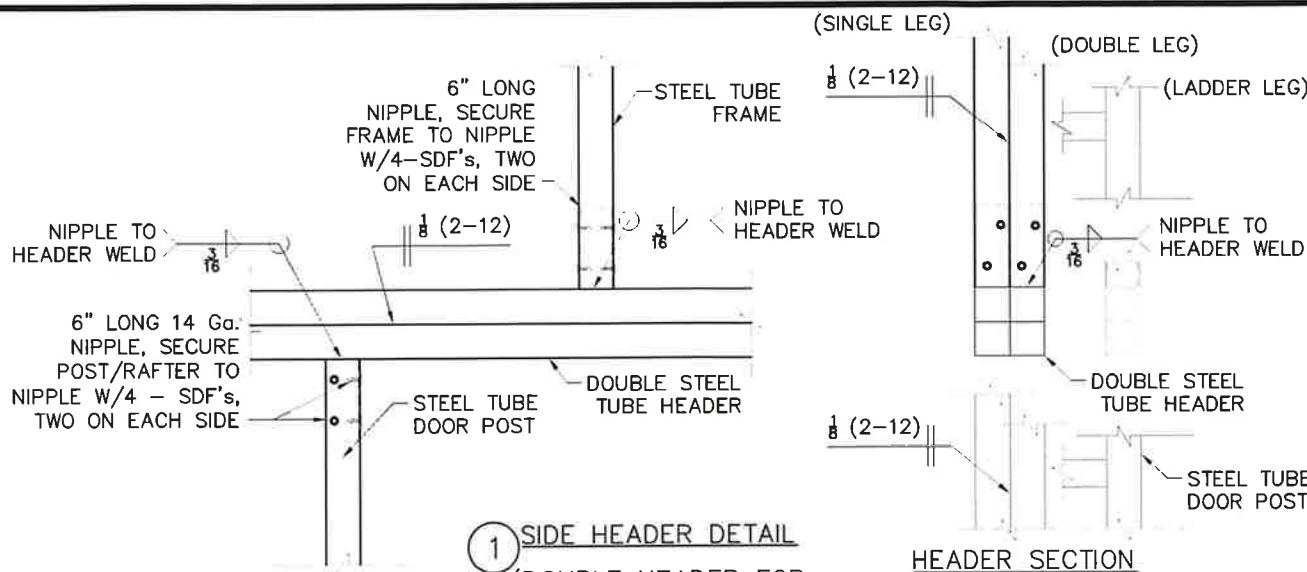
CRAWL SPACE DOOR SYSTEMS, INC.
 5741 Bayside Road, #105
 Virginia Beach, VA 23455
 Engineered Flood Vent
 Model CSBA216

OR Approved Equal
FLOOD VENTS

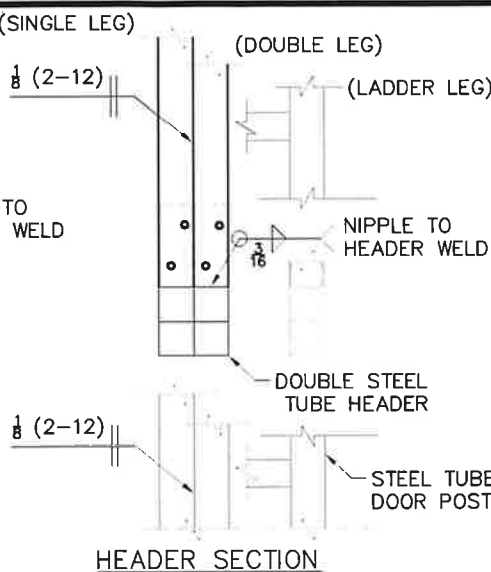


ROBERT L. LUEBBERS
 LICENSE No. 62169
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA

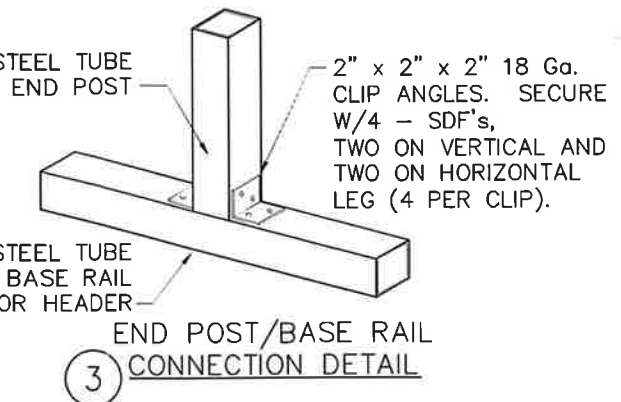
01/05/2025
 SHEET 3 OF 4



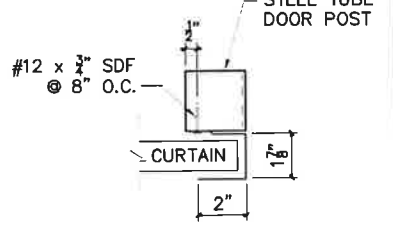
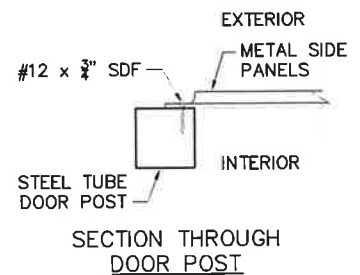
1 SIDE HEADER DETAIL (DOUBLE HEADER FOR 8' TO 12' OPENING, (ONE HEADER FOR SINGLE LEG, TWO HEADERS FOR DOUBLE LEG AND LADDER LEG))



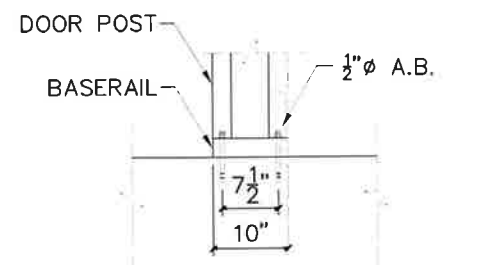
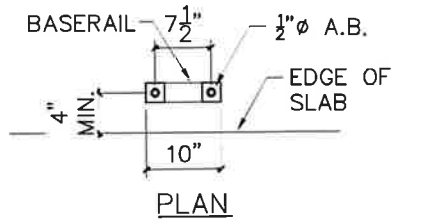
2 LEAN-TO SIDE BASE RAIL CONNECTION DETAIL



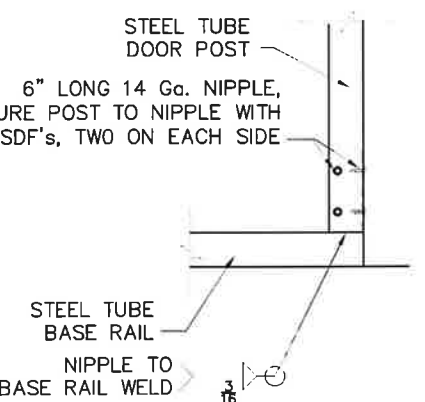
3 END POST/BASE RAIL CONNECTION DETAIL



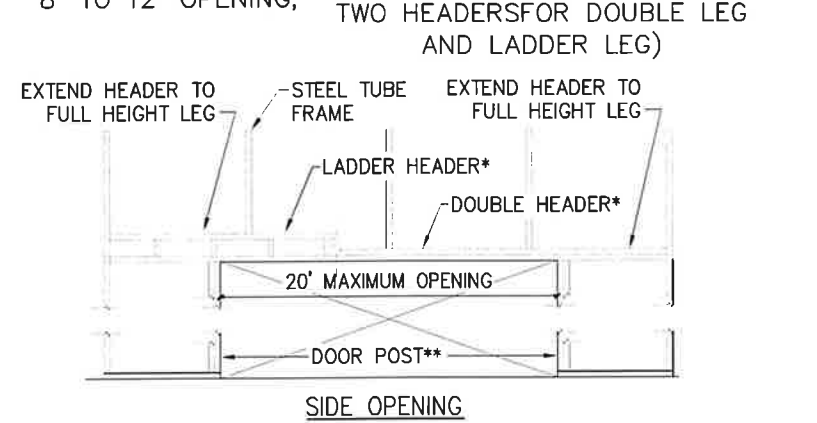
5 SECTION THROUGH ROLL-UP DOOR POST



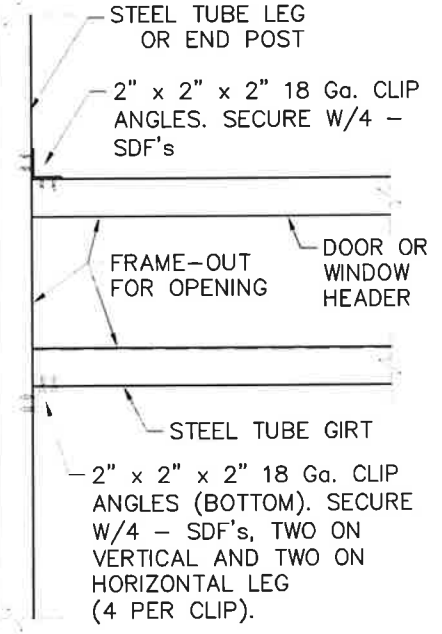
7 MINIMUM DISTANCE BETWEEN DOORWAYS (12" MINIMUM IS PREFERRED, 10" MINIMUM IS ACCEPTABLE.)



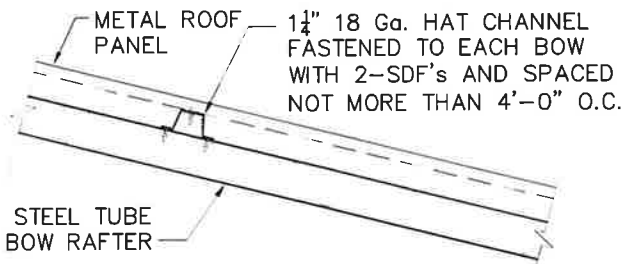
6 POST/BASE RAIL DETAIL



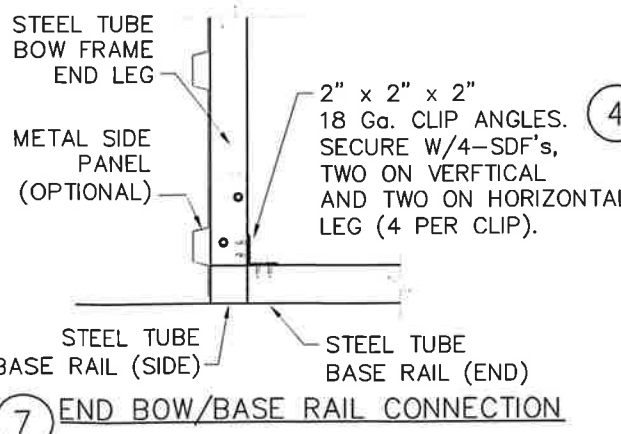
* USE DOUBLE HEADER TO 12' DOOR, USE LADDER HEADER TO 20' DOOR ** USE SINGLE DOOR POST TO 12' DOOR, USE DOUBLE DOOR POST TO 20' DOOR.



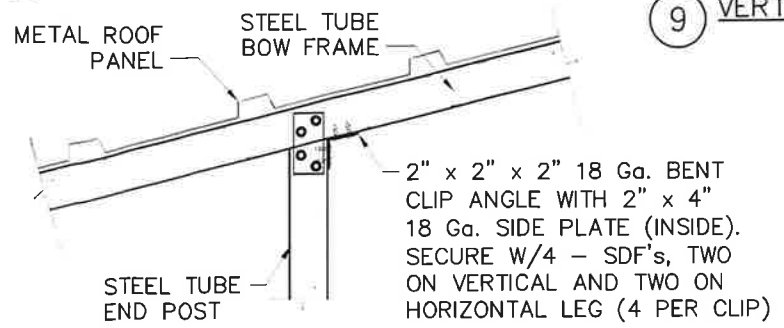
4 ENDWALL TO HEADER AND GIRT TO POST CONNECTION



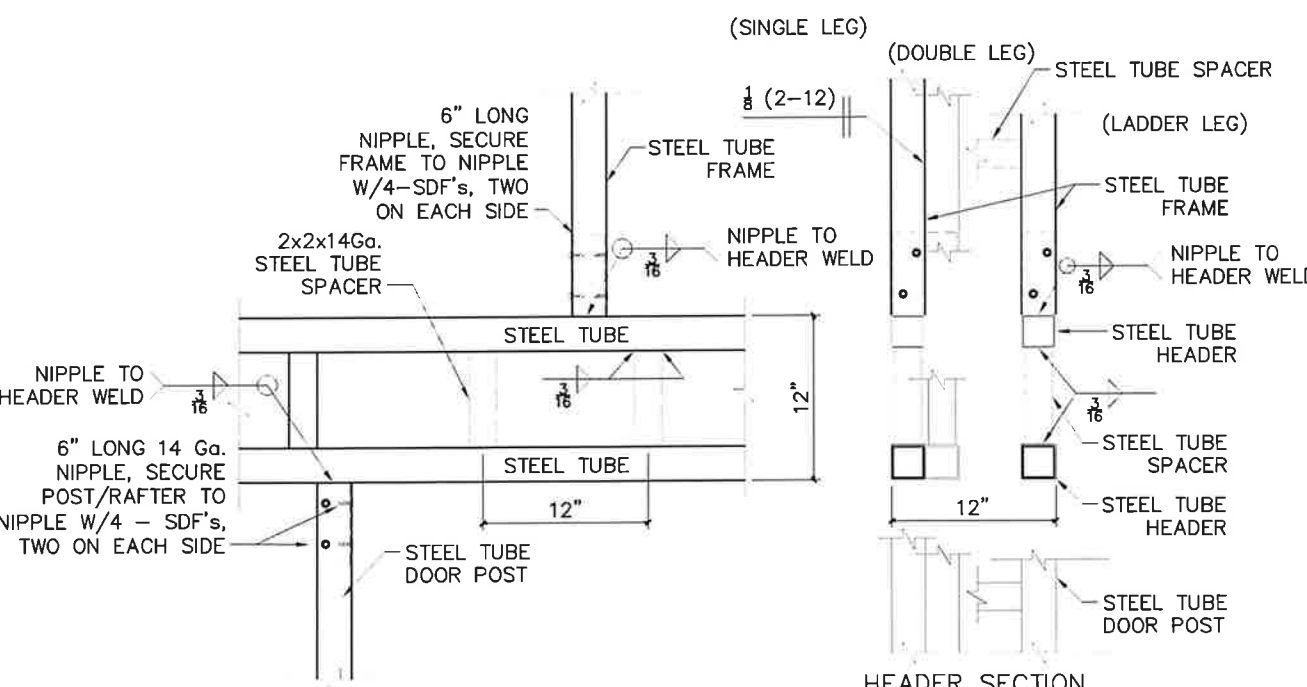
9 VERTICAL PANEL ATTACHMENT



7 END BOW/BASE RAIL CONNECTION

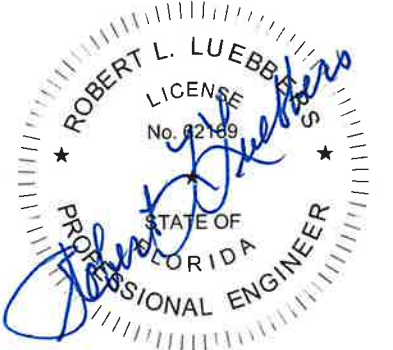


8 END POST TO BOW FRAME CONNECTION



6 SIDE HEADER DETAIL (LADDER STYLE FOR 13' TO 20' OPENING)

HEADER SECTION (ONE HEADER FOR SINGLE LEG, TWO HEADERS FOR DOUBLE LEG AND LADDER LEG)



BOUNDARY SURVEY OF LOTS 1 & 2, BLOCK 7, WHISPERING HILLS GOLF ESTATES, AS RECORDED IN PLAT BOOK 6, PAGE 70, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

SCALE: 1" = 30'

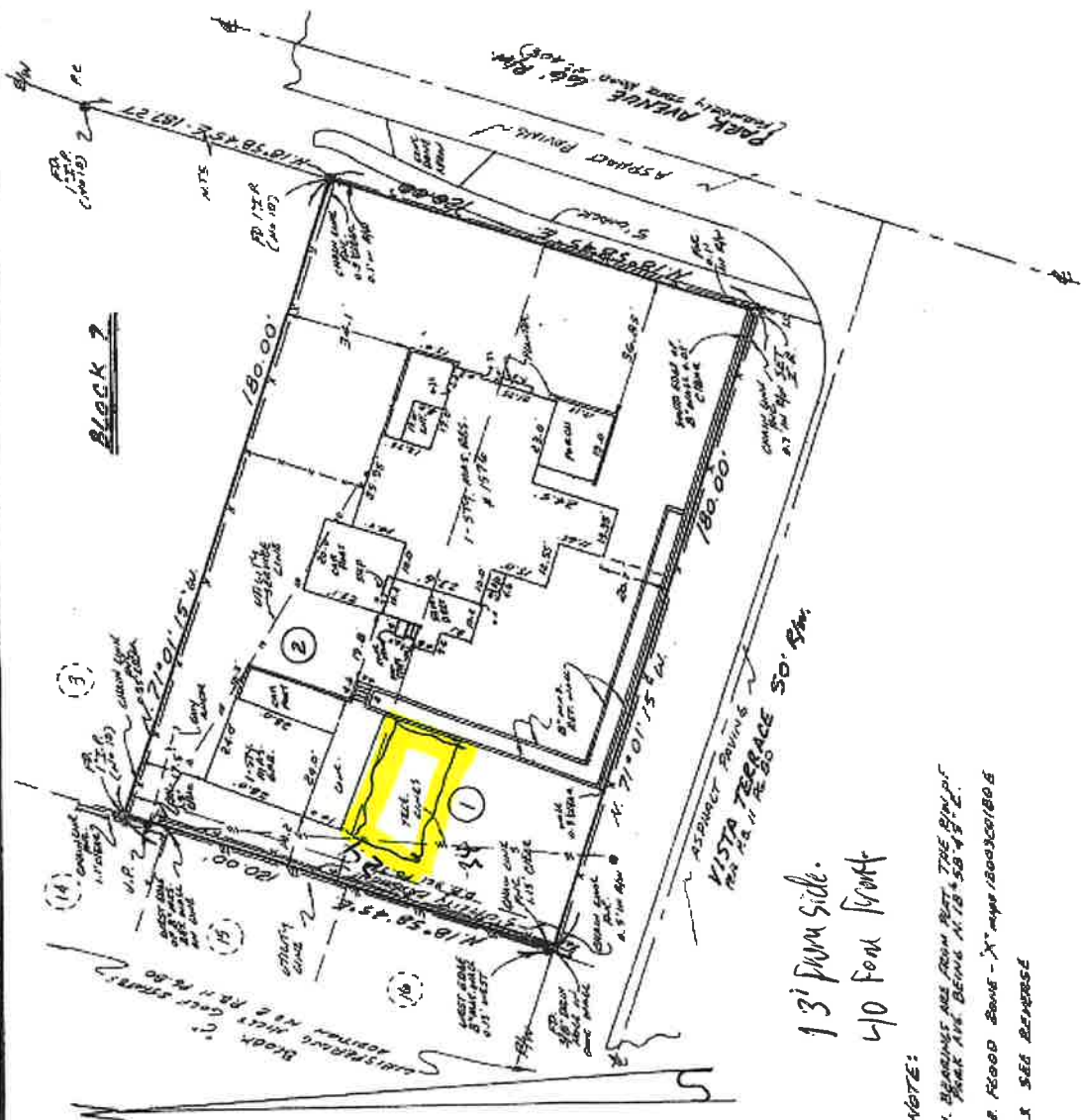
HOLLEY & ASSOCIATES, INC., L.L.C. # 45095
REGISTERED LAND SURVEYORS
3170 GARDEN ST. P.O. BOX 6118
TITUSVILLE, FL
407-267-6113

THE FOREGOING PLAT IS HEREBY CERTIFIED AS BEING A CORRECT REPRESENTATION OF THE LAND SURVEYED AND MEETS OR EXCEEDS THE MINIMUM STANDARDS ESTABLISHED IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FLORIDA STATUTE 472.027.

JOHN T. HOLLEY, P.S.M. # 5038
("NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.")

CERTIFIED TO:
DAVID SCHULZ
CYNTHIA SCHULZ
CRESTAR MORTGAGE CORPORATION
CULFATLANTIC TITLE, A DIVISION OF
LAWTERS TITLE INSURANCE CORPORATION

(COVER)



13' from side.
40' from front

NOTE:
1. BEARING ARE FROM PUT, THE R.P.M. OF
2. ROAD BOUND - X" MAY 1800X30180 &
3. SEE REVERSE



City of Titusville

555 S. Washington Avenue, Titusville, FL 32796

buildingpermits@titusville.com

Res Accessory Structure Permit

PERMIT #: PBP25-0429

ISSUED: 03/10/2025

EXPIRES: 09/06/2025

LOCATION:	OWNER:	CONTRACTOR:
1576 S PARK AVE 2204315 Zoning: CV: 11000	BEAUDRY, ROBERT; BEAUDRY, LIL Phone: (904) 237 4171	 Phone:

Work Description: Install carport 24 X 34,

Conditions:

Inspections Required

Building Final

- To schedule a building, plumbing, electrical or mechanical inspection, either call 321-567-3760, email buildingpermits@titusville.com or schedule it through the BS&A online portal at least one business day prior to the inspection.
- On the morning of your scheduled inspection, you may call 321-567-3767 between 7:00 AM and 8:00 AM for additional information or an approximate time frame of the inspection.
- Call 321-567-3800 to schedule all Fire Department inspections.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

105.3.3. "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

By Order of



Building Official

City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustments and Appeals
From:
Subject: **Semi-Annual Report**
Department/Office: Development Services

Recommended Action:

Approve Semi-Annual Report as written.

Summary Explanation & Background:

Alternatives:

Item Budgeted:

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Semi-Annual Updates Spring 2025

Board of Adjustments and Appeals Semi-Annual Report

Items Reviewed Between January 2025 - June 2025

Var. No.	Description	Date of Decision
#1-2025	A variance to Land Development Regulations Chapter 28, Section 28-391 to allow less than the required 5-foot interior side yard setback for a detached accessory structure for property located at 1450 Echo Drive - WITHDRAWN	
#2-2025	A variance to Land Development Regulations Chapter 28, Section 28-391 to allow less than the required 15-foot rear yard setback for an attached screen porch for property located at 1804 Corvina Way - APPROVED WITH A CONDITION.	3/26/2025
#3-2025	A variance to Land Development Regulations Chapter 30, Section 30-321 to allow the use of prohibited material in the form of artificial turf for property located at 2771 Edington Drive - DENIED.	3/26/2025
#4-2025	A variance to Land Development Regulations Chapter 30, Section 30-321 to allow the use of prohibited material in the form of artificial turf for property located at 2811 Edington Drive - WITHDRAWN.	
#5-2025	A variance to Land Development Regulations Chapter 30, Section 30-321 to allow the use of prohibited material in the form of artificial turf for property located at 2851 Edington Drive - WITHDRAWN.	
#6-2025	A variance to Land Development Regulations Chapter 30, Section 30-321 to allow the use of prohibited material in the form of artificial turf for property located at 2911 Edington Drive - WITHDRAWN.	
#7-2025	A variance to Land Development Regulations Chapter 28, Section 28-305(c) to allow less than the required 20-foot side corner yard setback for a primary structure for property located at 702 Lucky Street. - APPROVED.	4/23/2025
#8-2025	A variance to Land Development Regulations Chapter 30, Section 30-321 to allow the use of prohibited material in the form of artificial turf for property located at Parcel ID# 22-35-16-09-* -I - WITHDRAWN.	
#9-2025	A variance to Land Development Regulations Chapter 30, Section 30-182 to allow a fence located in the front yard to exceed the maximum 4-foot height to be up to six (6) feet in height for property located at 1311 Wilderness Lane - APPROVED.	4/23/2025
#10-2025	A variance to Land Development Regulations Chapter 30, Section 30-321(f) to allow the use of prohibited material in the form of artificial turf for property located at 3041 Edington Drive - TABLED.	4/23/2025

#11-2024	A variance to Land Development Regulations Chapter 30, Section 30-321(f) to allow the use of prohibited material in the form of artificial turf for property located at 3042 Edington Drive - TABLED.	4/23/2025
#12-2025	A variance to Land Development Regulations Section 30, Chapter 30-137 to allow a retaining wall in the back yard for property located at 1166 Fulton Circle - WITHDRAWN.	
#13-2025	A variance to Chapter 28, Section 28-392(a) to allow more than the maximum total floor area of all detached accessory buildings to exceed six hundred (600) square feet on lots larger than one (1) acre, for property consisting of 5.35 +/- acres for property located at 5650 S. Washington Avenue - APPROVED.	5/28/2025
#14-2025	A variance to Land Development Regulations Chapter 28, Sections 28-307(c) to allow lot areas to be less than the required 2,000 square feet, to allow less than the required 25-foot front yard setback for a primary structure and to allow less than the required 15-foot rear yard setback for a primary structure for property located at 450 Christian Court - APPROVED WITH CONDITIONS.	5/28/2024
#15-2025	A variance to Land Development Regulations Chapter 28, Section 28-307(c) to allow the floor area per dwelling unit to be less than the required 700 square feet for a one-bedroom unit and to remove the required thirty-two (32) square feet private storage unit for property located at 2001 South Street - APPROVED WITH CONDITIONS.	5/28/2025
#16-2025	A variance to Land Development Regulations Chapter 30, Section 30-128(a)(1) to allow a fence located in the front yard to exceed the maximum 4-foot height for property located at 3410 Melody Lane - APPROVED.	5/28/2025