



CITY OF TITUSVILLE

BOARD OF ADJUSTMENT AND APPEALS

AGENDA

Regular Meeting

January 28, 2026 - 6:00 PM

Council Chamber at City Hall

555 South Washington Avenue, Titusville, FL 32796

Any person who decides to appeal any decision of the Board of Adjustments and Appeals, with respect to any matter considered at this meeting, will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City desires to accommodate persons with disabilities. Accordingly, any physically handicapped person, pursuant to Chapter 286.26 Florida Statutes, should at least 48 hours prior to the meeting, submit a written request to the chairperson of the meeting that the physically handicapped person desires to attend.

Notice

All persons who anticipate speaking on any Public Hearing item must fill out an Oath Card to be heard on that agenda item and sign the oath contained thereon. These cards are located on the table near the entrance to the Council Chamber or may be obtained from the Recording Secretary. This meeting will be conducted in accordance to the procedures adopted in Resolution No. 24-1997.

Those speaking in favor of a request will be heard first, those opposed will be heard second, and those who wish to make a public comment on the item will speak third. The applicant may make a brief rebuttal if necessary. A representative from either side, for or against, may cross-examine a witness.

Anyone who speaks is considered a witness. If you have photographs, sketches, or documents that you desire for the Commission to consider, they must be submitted into evidence and will be retained by the City. Please submit such exhibits to the Recording Secretary.

Applicants for land use and zoning related items are advised that the resumes of staff members who prepare applicable staff reports are on file in the City Clerk's Office.

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL AND DETERMINATION OF A QUORUM

4. APPROVAL OF MINUTES

A. Minutes December 8, 2025

Approve Minutes

5. QUASI-JUDICIAL CONFIRMATION PROCEDURES

A. Verify all persons wishing to speak before the committee has signed an Oath Card.

B. Chairman confirms that all agenda items have been properly advertised.

C. Member's statements if they have visited any of the sites or spoken to any members of the public regarding an item to be reviewed today.

6. CONSENT AGENDA

7. OLD BUSINESS

8. NEW BUSINESS

A. Variance (VAR) No. 1-2026, 2010 Logan Drive

Consider the requested Variance to allow the lot width to be less than the required 75-feet and to allow the interior side yard setback to be less than the required 10-feet for a primary structure, for a property located at 2010 Logan Drive, Titusville, FL

B. Variance (VAR) No. 2-2026, 2108 Malinda Lane

Consider the requested variance to allow less than the required 15-foot interior side yard setback for a primary structure, for property located at 2108 Malinda Lane, Titusville.

C. Appeal No. 1-2026, 300 Cheney Hwy

Consider the requested appeal from the administrator's determination that driveways must be removed pursuant to Section 9.11.1.3.4 of the Technical Manual for Site Development application No. PSP25-0087 for property located at 300 Cheney Hwy.

9. PETITIONS AND REQUESTS FROM THE PUBLIC PRESENT

10. REPORTS

A. Semi-Annual Report

Approve Semi-Annual Report as written.

11. ADJOURNMENT

City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustment and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Minutes December 8, 2025**
Department/Office: Development Services

Recommended Action:

Approve Minutes

Summary Explanation & Background:

Minutes December 8, 2025

Alternatives:

Item Budgeted:

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. BAA 12-8-25

DRAFT

Board of Adjustments and Appeals

Regular Meeting

December 8, 2025

The Board of Adjustments and Appeals (BAA) of the City of Titusville, Florida, met in regular session in Council Chambers, on Monday, December 8, 2025.

XXX

Chairman Thomas Taylor called the meeting to order at 6:00 p.m. and asked the assembly to recite the Pledge of Allegiance to the Flag.

XXX

Present were Chairman Thomas Taylor, Vice-Chairwoman Margaret Van Deven, Member Richard Wheelus, Member Gina Beckles and Member John Greene. Also, in attendance were Planner Tabitha Armstrong, Sr. Administrative Assistant Kim Amick and City Attorney Andriene Treasure. It was determined that a quorum was present.

XXX

Mr. Nathan Rothell was sworn in as a new alternate member.

XXX

Member Beckles made a motion to approve the September 24, 2025 minutes. Vice-Chairwoman Van Deven seconded. There was a unanimous voice vote.

XXX

Chairman Thomas Taylor confirmed the quasi-judicial procedures verifying that all persons wishing to speak before the board has signed an oath card.

XXX

Tabitha Armstrong confirmed that all agenda items had been properly advertised.

XXX

Chairman Thomas Taylor called for members' statements if they had visited any of the sites.

XXX

DRAFT

Consent Agenda Items

None.

XXX

Old Business

None.

XXX

New Business

Variance 23-2025 – 1525 Bunker Hill Court

Tabitha Armstrong reviewed the staff report and explained what the applicant was requesting.

Mr. Barry Hallman lives at 3672 Powder Horn Place but also owns 1525 Bunker Hill Court, Titusville, Florida, spoke in favor of the item.

Discussion followed.

Mr. Barry Hallman was asked back to the podium for more questions.

Member Greene made a motion to deny Variance 23-2025 in its entirety. Mr. Greene stated the reason for the denial is because there are no special conditions or circumstances which exists that are peculiar to the land.

Member Wheelus seconded.

Roll call was as follows:

Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes
Member Beckles	Yes
Member Greene	Yes
Member Wheelus	Yes

Motion passed.

XXX

Variance 24-2025 – Parcel ID # 22-35-05-00-03

Tabitha Armstrong reviewed the staff report and explained what the applicant was requesting.

Mr. Dan Gable, 5517 Kathy Drive, Titusville, Florida, spoke in favor of this item.

Vice-Chairwoman Van Deven, with regard to Variance 24-2025, Parcel ID #22-35-05-00-93, made a motion to approve the variance in it entirety as specified in the agenda

DRAFT

Member Wheelus seconded.

Roll call was as follows:

Member Beckles	Yes
Member Greene	Yes
Member Wheelus	Yes
Chairman Taylor	Yes
Vice-Chairwoman Van Deven	Yes

XXX

Petitions and Requests from the Public Present

None.

XXX

Reports

Staff – Tabitha stated there are no variances for the January meeting at this time.

Attorney – None.

Members – None.

Chairman – None.

Adjournment was at 6:52 p.m.

City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustment and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Variance (VAR) No. 1-2026, 2010 Logan Drive**
Department/Office: Planning

Recommended Action:

Consider the requested Variance to allow the lot width to be less than the required 75-feet and to allow the interior side yard setback to be less than the required 10-feet for a primary structure, for a property located at 2010 Logan Drive, Titusville, FL

Summary Explanation & Background:

The applicant is requesting a Variance to Land Development Regulations, Chapter 28, Section 28-304 Single-Family Medium Density (R-1B), Subsection 28-304(c), to allow the lot width to be less than the required 75-feet and to allow the interior side yard setback to be less than the required 10-feet for a primary structure, for property located in the Single-Family Medium Density (R-1B) zoning district, at 2010 Logan Drive, Titusville, FL 32780, as submitted by American Eco Systems Contractors Inc, authorized applicant for Andy the Builder LLC, owner.

Alternatives:

1. Approve the Variance
2. Deny the Variance
3. Other

Item Budgeted:

N/A

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Variance 1-2026 Staff Report
2. Application
3. Survey
4. Aerial view - Applicant Packet
5. All Maps VAR #1-2026
6. Code



City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 1-2026, 2010 Logan Drive**

3 **Meeting Date:** January 28, 2028

4 **Prepared By:** Tabitha Armstrong, AICP - Planner

5 **Applicant:** American Eco Systems Contractors Inc, authorized applicant for Andy the
6 Builder LLC, owner.

7 **Background**

8 (a) Variance request: Land Development Regulations, Chapter 28, Section 28-304
9 Single-Family Medium Density (R-1B). Section 28-304(c) - *To allow the lot width*
10 *to be less than the required 75-feet and to allow the interior side yard setback to be*
11 *less than the required 10-feet for a primary structure*, for property located in the
12 Single-Family Medium Density (R-1B) zoning district, at 2010 Logan Drive,
13 Titusville, FL 32780, as submitted by American Eco Systems Contractors Inc,
14 authorized applicant for Andy the Builder LLC, owner.

15 (b) Location: 2010 Logan Drive, Titusville, FL. Tax No. 2204350. Parcel I.D. 22-35-
16 09-BL-11-6.01

17 (c) Land Description: WHISPERING HILLS GOLF ESTATES LOT 6 EXC DB 340
18 PG 235, 351 PG 310; LOT 9 BLK 11

19 (d) Future Land Use: Low Density Residential

20 (e) Zoning: Single Family Medium Density (R-1B)

21 (f) Surrounding Zoning Districts.

22 1. North: Single Family Medium Density (R-1B)

23 2. South: Single Family Medium Density (R-1B)

24 3. East: Single Family Medium Density (R-1B)

25 4. West: Single Family Medium Density (R-1B)

Board of Adjustments and Appeals: Variance No. 1-2026

1 (g) Lot Characteristics: The subject property is approximately .32 acres (13,939 sq. ft)
2 and with 50 feet of frontage along Logan Dr. These dimensions meet the minimum
3 7,500 sq. ft lot area but not the 75-foot lot width minimum of the Single-Family
4 Medium Density (R-1B) zoning district.

5 (h) Uses: Vacant Residential Lot

6 **Powers of the BAA**

7 LDR Section 34-226 states that the Board shall grant a variance request when in the
8 opinion of the Board of Adjustments and Appeals, owing to special conditions, the
9 literal enforcement of such ordinance or regulations would do manifest injustice to, or
10 impose an unnecessary hardship upon the applicant. In order to authorize any variance
11 to the provisions of such ordinance, the Board must consider the following criteria:

12 (a) Special conditions and circumstances exist which are peculiar to the land,
13 structure, or building involved and which are not applicable to other lands,
14 structures or building in the same zoning.

15 (b) Special conditions and circumstances do not result from the actions of the
16 applicant.

17 (c) Granting the variance requested will not confer upon the applicant any special
18 privilege that is denied by the ordinance to other lands, buildings or structures in
19 the same zoning district.

20 (d) The literal interpretation of the provisions of the ordinance would deprive the
21 applicant of rights commonly enjoyed by other properties in the same zoning
22 district under the terms of the ordinance.

23 (e) The variance granted is the minimum variance that will make possible the
24 reasonable use of the land, building or structure.

25 (f) The granting of the variance will preserve the spirit of the ordinance and remain
26 in harmony with its general purpose and intent.

27 (g) In granting the variance, the public safety and welfare must be assured.

28 (h) In no case shall the granting of a variance result in a change of use, which would
29 not be permitted in that zone.

30 **Analysis**

31 The applicant is requesting a variance to the Land Development Regulations (LDR)
32 Section 28-304(c), to allow a lot width of 50 feet where 75 feet is required and to
33 reduce the interior side yard setbacks to 5-feet on each side where 10 feet is required.
34 As depicted on the submitted concept plan, the applicant proposes to construct a 48-

Board of Adjustments and Appeals: Variance No. 1-2026

1 foot by 50-foot single-family dwelling with a 30-foot front yard setback and 5-foot
2 interior side yard setbacks.

3 The subject property is a vacant residential lot within the Whispering Hills Golf
4 Estates subdivision, originally platted in 1926. The lot has an existing width of
5 approximately 50 feet and does not meet the current minimum lot width requirement
6 of the R-1B zoning district.

7 Pursuant to LDR Section 28-5, within the Single-Family Medium Density (R-1B)
8 zoning district, *no dwelling shall be erected on a lot that does not abut a public street*
9 *for at least 65 feet, except that a minimum street abutment of 25 feet may be permitted*
10 *for irregularly shaped lots, provided the minimum lot width is met at the building*
11 *line.* Given the configuration of the subject property, application of this standard
12 would require the primary structure to be placed at an approximate 92-foot front
13 setback to meet the 75-foot minimum lot width requirement at the building line.

14 The requested variance to allow a reduced lot width would permit reasonable
15 development of an existing platted lot that predates current zoning standards.
16 However, the requested interior side yard setbacks of 5 feet on each side represent a
17 substantial reduction from the required 10-foot interior side yard setback. The
18 requested reduction exceeds what is necessary to accommodate development of the
19 lot and does not reflect the minimum relief necessary to allow reasonable use of the
20 property.

21 **Recommendation**

22 Staff recommend **approval** of the variance request to allow a reduced lot width from
23 75 feet to 50 feet. The literal interpretation of the provisions of the ordinance would
24 deprive the applicant of rights commonly enjoyed by other properties in the same
25 zoning district under the terms of the ordinance. Special conditions and circumstances
26 do not result from the actions of the applicant.

27 Staff recommend **denial** of the variance request to reduce the required interior side
28 yard setbacks from 10 feet to 5 feet. The variance is not the minimum variance that
29 will make possible the reasonable use of the land, building or structure. Granting the
30 variance requested will not confer upon the applicant any special privilege that is
31 denied by the ordinance to other lands, buildings or structures in the same zoning
32 district



To be Completed by Staff
 Application No. _____
 Date Received: _____
 Received by: _____

APPLICATION FOR VARIANCE

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. **INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.**

1. Project Location	Property Address/Location Description 2010 LOGAN DR TITUSVILLE FL 32780		
2. Applicant/ Owner	Name of Applicant/Contact LOUIE HUMAN AMERICAN ESO SYSTEMS CONTRACTORS INC		Name of Owner ANDY THE BUILDER LLC
	Street Address 2503 SWASHINGTON AVE #506		Street Address 3707 INDIAN RIVER DR
	City	State	Zip
	TITUSVILLE	FL	32780
	City	State	Zip
	COCOA	FL	32926
	Telephone # 321 795 1432	Telephone # 407 267 0001	
	Fax #	Fax #	
	E-Mail Address CHUMANDART@GMAIL.COM		E-Mail Address andreaswlls@gmail.com
3. Applicant Status	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Other GC		
4. Parcel ID	22-35-09-BL-11-6,01	Tax Acct.	220 4350
5. Site Size	Acres: .32	Square Feet: 13,939 sq ft.	
6. Property Information	Current Zoning R-1	Current Use of Property R-1	
7. Variance(s) Requested	Section Number	LDR Requirement	Variance Requested
	1)	1)	1) 5 FT. EACH SIDE
	2) SECTION LDR	2)	2) NORTH & SOUTH
	1) 28-5	3)	3) Allow Min lot width
	4)	4)	4) to be 50 feet
5)	5)	5)	
8. Narrative	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application). The lot is very long, wanting to move the house up to a normal setback length VS 80 ft. driveway - 10 foot total side variance needed (5ft on N & S sides)		

- All applications shall require Community Development staff review prior to submittal.
- All applications shall be submitted to the Department electronically and officially logged in by 4:00 p.m. on deadline dates.
- Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information is submitted. Meeting dates for incomplete applications will not be set until all required information is submitted.
- Petitions requiring review from other boards or commissions prior to being forwarded to the Board of Adjustments and Appeals (BAA) are not guaranteed placement on the BAA schedule available on the City's website.

ACKNOWLEDGEMENT

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the City Council, Board of Adjustment & Appeals, and Planning & Zoning Commission on this topic to properly noticed public hearings or to written communication to the City Clerk's Office, City of Titusville, P.O. Box 2806, Titusville, FL 32781

Is/ (Signature*) *Clayton Thomas*

(Date) *12/10/25*

* By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.

FOR OFFICE USE ONLY

Date Received: _____
 Accepted By: _____
 Hearing Date: _____
 Case Number: _____

Grounds For Granting A Variance

Section 31-51 of the Land Development Regulations of the City of Titusville empowers the Board of Adjustments and Appeals to grant variances to the requirements of the Land Development Regulations and certain other codes and/or ordinances. The Board may grant a variance if, in their opinion, the strict enforcement of these rules would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district. In granting a variance, the Board must consider whether or not the applicant's particular situation meets a certain set of criteria established in Section 34-226 of the Land Development Regulations. These criteria are as follows:

- (a) Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
- (b) Special conditions and circumstances do not result from the actions of the applicant.
- (c) Granting the variance requested will not confer upon the applicant any special privilege that is denied by the ordinance to other lands, buildings or structures in the same zoning district.
- (d) The literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance.
- (e) The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
- (f) The granting of the variance will preserve the spirit of the ordinance and remain in harmony with its general purpose and intent.
- (g) In granting the variance, the public safety and welfare must be assured.
- (h) In no case shall the granting of a variance result in a change of use which would not be permitted in that zoning district.

Variance Justification

In answering the questions below, please be as specific as possible. Your answers will help the Board of Adjustments and Appeals and City staff to properly evaluate your variance request
(Please attach a separate sheet if necessary)

1. Why are you unable to comply with the requirements? What hardship or injustice are you claiming?

THE LOT AS IS WOULD HAVE AN 80 FOOT DRIVEWAY.

2. What is special about your property that would justify treating it differently than most other properties? (Examples of important special conditions include: narrow or odd shaped lot; excessive slope of land; soil or drainage limitations; unusual location of existing buildings on the lot; etc.) If the special conditions involve an existing building or structure, when was it built and are you the original owner?

ODD SHAPED LOT

3. Is your variance request the minimum change from the requirements that you need to overcome your hardship? Explain your answer. (For example, suppose you are requesting a 5 foot variance to the side yard setback requirement in order to build a single car garage 15 feet wide. Your request would not be the minimum since a single car garage 11 feet wide would be adequate and would only require a 1 foot variance.)

5 FOOT EACH SIDE TOTAL 10 FEET ON N and S SIDE OF LOT (Left & RIGHT SIDE IF FACING HOME FROM STREET)

4. Explain why approval of your variance request would not likely result in harm to your neighbor's properties or to the general public.

THE LOT IS VERY LONG AND MOVING THE HOME UP SLIGHTLY ON LOT WOULD GIVE THE NEIGHBORS MORE PRIVACY WHILE HAVING A LARGER THAN NORMAL SETBACK FROM THE ROAD.



SUBMITTAL CHECKLIST

Please fill out the following and submit the documents to the Community Development Department electronically. Payment of fees does not ensure a favorable decision. Additional information may include documents initially waived at the pre-application meeting but subsequently determined necessary by staff.

1.	Complete Application and Fees
2.	Warranty Deed
3.	Notarized Owner Authorization Form (If applicable)
4.	Legal Description (from a certified survey)
5.	Certified Survey (sealed and containing permanent reference points as described by Chapter 177, Florida Statutes, with bearings, distances and closures) in electronic PDF format.
6.	Digital plot or site plan, drawn to scale, illustrating the variance requested.
7.	Names, addresses and address labels for all property owners within 100 feet of the subject property. <i>Note: This listing is available from either the Brevard County Property Appraiser's Office or the City of Titusville Planning Department. Current charge for this service is \$35.00.</i>
8.	Pre-Application Meeting Held – Date: Staff in Attendance:

Applicant Signature**

/s/

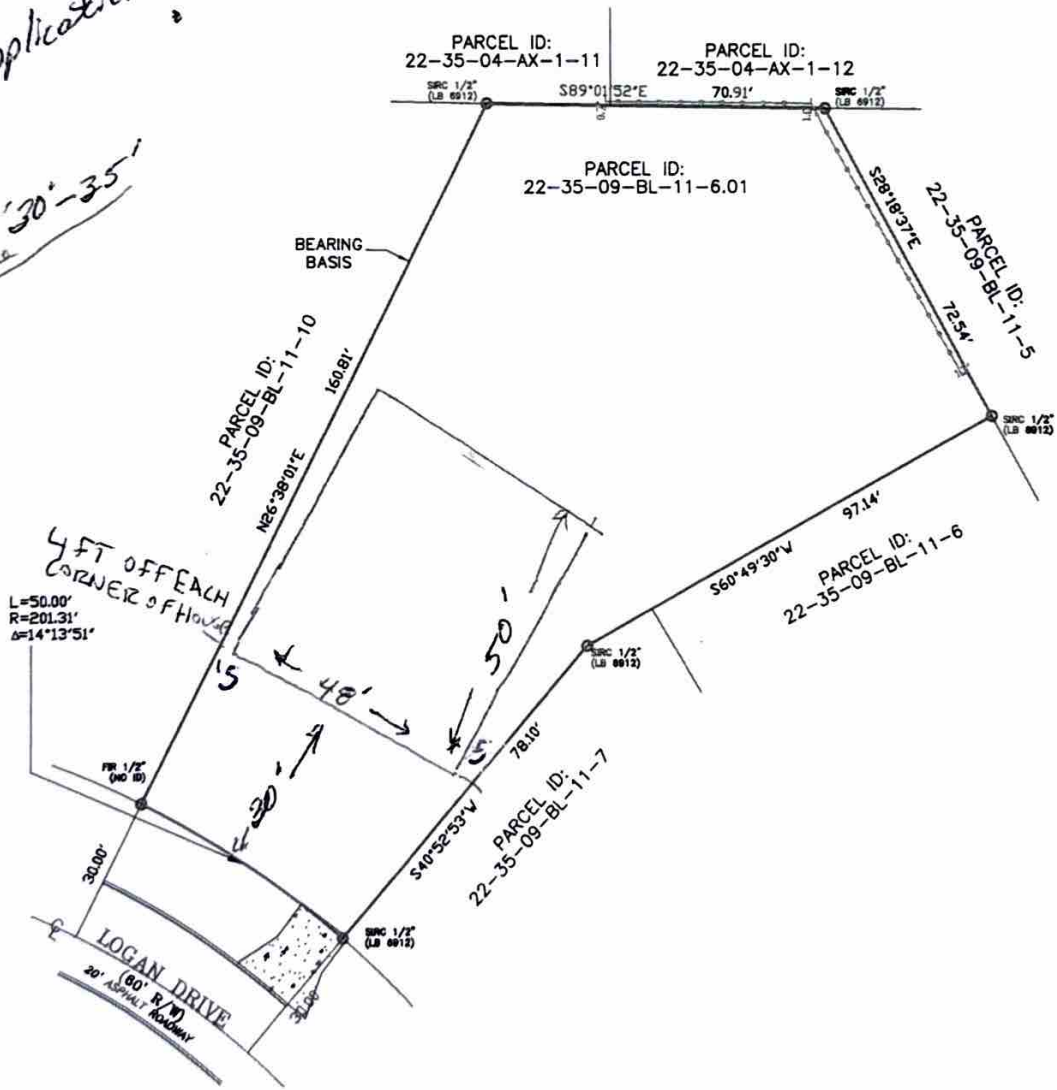
Christy [Signature]

Date

12/16/25

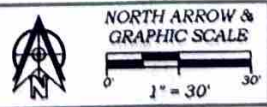
** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.

Variance Application?
Setbacks From each side @ 30'-35'



NOTABLE CONDITIONS:
 PROPERTY APPEARS TO BE SERVICED BY PUBLIC UTILITIES.

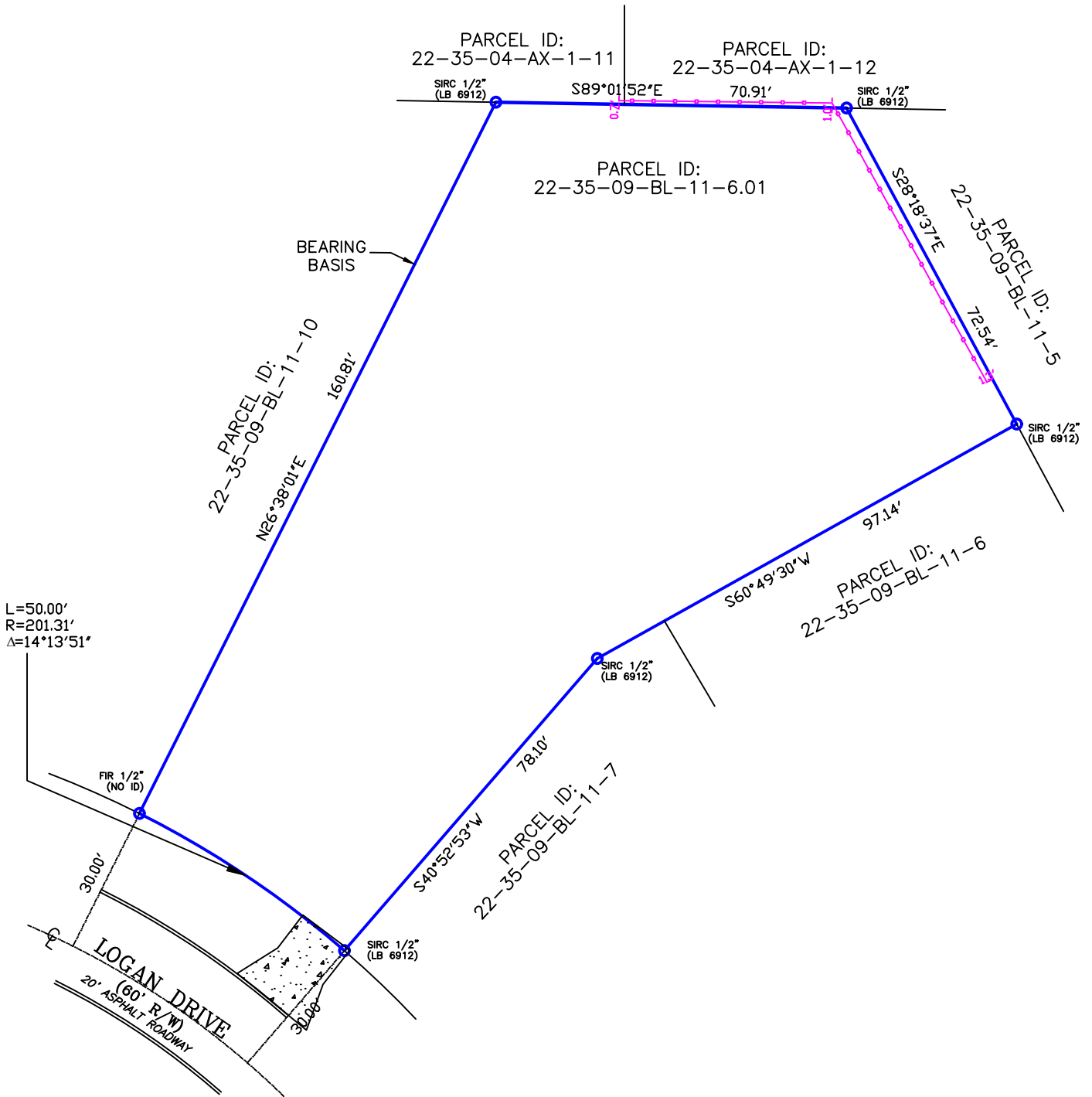
NOTES:
 ALL BEARINGS AND DISTANCES SHOWN ARE RECORD AND MEASURED, UNLESS OTHERWISE SHOWN.
 BEARINGS ARE BASED UPON THE RECORD BEARING FOR THE WESTERLY LOT LINE.



JOB # - 2162-448	REVISION -
FIELD DATE - 03/08/2021	REVISION -
DRAWN BY - J M	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
FLORIDA BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER LB 6912	

KNOW IT NOW, INC.
 PROFESSIONAL SURVEYING AND MAPPING
 5220 US HIGHWAY 1, #104
 VERO BEACH, FL 32967
 PHONE - (888) 396-7770
 WWW.KINSURVEY.COM



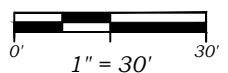


NOTABLE CONDITIONS:
 PROPERTY APPEARS TO BE SERVICED BY PUBLIC UTILITIES.

NOTES:
 ALL BEARINGS AND DISTANCES SHOWN ARE RECORD AND MEASURED, UNLESS OTHERWISE SHOWN.
 BEARINGS ARE BASED UPON THE RECORD BEARING FOR THE WESTERLY LOT LINE.



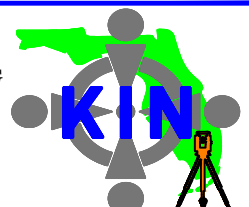
NORTH ARROW &
 GRAPHIC SCALE



JOB # - 2102-448	REVISION -
FIELD DATE - 03/08/2021	REVISION -
DRAWN BY - J.M.	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -

FLORIDA BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER LB 6912

KNOW IT NOW, INC.
 PROFESSIONAL SURVEYING AND MAPPING
 5220 US HIGHWAY 1, #104
 VERO BEACH, FL 32967
 PHONE - (888) 396-7770
 WWW.KINSURVEY.COM



LEGAL DESCRIPTION:

LOT 6, BLOCK 11, WHISPERING HILLS GOLF ESTATES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE(S) 70 AND 71, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, LESS AND EXCEPT THOSE PORTIONS AS DESCRIBED IN DEED BOOK 340, PAGE 235 AND DEED BOOK 351, PAGE 310; AND ALL OF LOT 9, BLOCK 11, WHISPERING HILLS GOLF ESTATES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE(S) 70 AND 71, OF THE PUBLIC RECORDS OF BREVARD COUNTY.

JOB NUMBER: 2102-448

FIELD WORK DATE: 03/08/2021

PROPERTY ADDRESS:

2010 LOGAN DRIVE, TITUSVILLE, FL 32780

FLOOD INFORMATION:

PANEL NUMBER: 12009C0205H

FIRM DATE: JANUARY 29, 2021

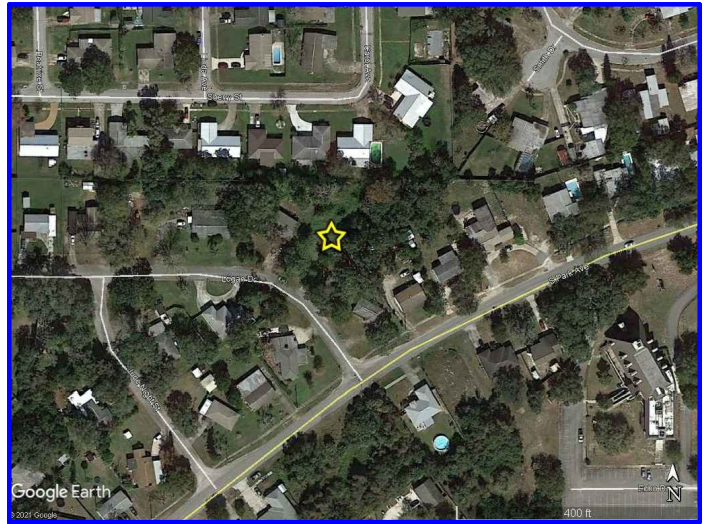
FLOOD ZONE: X

BASE FLOOD ELEVATION: NA

COMMUNITY NAME: TITUSVILLE, CITY OF

COMMUNITY NUMBER: 120152

AERIAL PHOTOGRAPH



SURVEYOR'S LEGEND

A/C = AIR CONDITIONING
 BB = BEARING BASIS
 BFP = BACKFLOW PREVENTER
 BLDG = BUILDING
 BLK = BLOCK
 BM = BENCHMARK
 C = CURVE
 CATV = CABLE T.V. RISER
 CB = CATCH BASIN
 CL = CENTERLINE
 CLF = CHAIN LINK FENCE
 CLP = CONCRETE LIGHT POLE
 CONC = CONCRETE
 CP = CONTROL POINT
 CPP = CONCRETE POWER POLE
 D = DEED
 DF = DRAINFIELD
 ELEV = ELEVATION
 EM = ELECTRIC METER
 EOW = EDGE OF WATER
 EP = EDGE OF PAVEMENT
 F = FIELD
 FCM = FOUND CONCRETE MONUMENT
 FDH = FOUND DRILL HOLE

FFE = FINISHED FLOOR ELEVATION
 FIP = FOUND IRON PIPE
 FIPC = FOUND IRON PIPE AND CAP
 FIR = FOUND IRON ROD
 FIRC = FOUND IRON ROD AND CAP
 FN = FOUND NAIL
 FN&D = FOUND NAIL AND DISC
 FND = FOUND
 FPK = FOUND PK NAIL
 FPKD = FOUND PK NAIL AND DISC
 FRRSPK = FOUND RAILROAD SPIKE
 GAR = GARAGE
 HYD = FIRE HYDRANT
 ID = IDENTIFICATION
 L = LENGTH
 LB # = LICENSED BUSINESS
 LS # = LICENSED SURVEYOR
 M = MEASURED
 MB = MAP BOOK
 MES = MITERED END SECTION
 MH = MANHOLE
 MLP = METAL LIGHT POLE
 OHW = OVERHEAD WIRES
 P = PLAT
 PB = PLAT BOOK
 PC = POINT OF CURVATURE

PCC = POINT OF COMPOUND CURVATURE
 PCP = PERMANENT CONTROL POINT
 POB = POINT OF BEGINNING
 POC = POINT OF COMMENCEMENT
 PP = POOL PUMP
 PRC = POINT OF REVERSE CURVATURE
 PRM = PERMANENT REFERENCE MONUMENT
 PT = POINT OF TANGENCY
 R = RADIUS
 RNG = RANGE
 R/W = RIGHT OF WAY
 S = SEPTIC
 SEC = SECTION
 SIR = SET IRON ROD AND CAP
 SPKD = SET PK NAIL AND DISC
 SV = SEWER VALVE
 TBM = TEMPORARY BENCHMARK
 TOB = TOP OF BANK
 TWP = TOWNSHIP
 TR = TELEPHONE RISER
 TYP = TYPICAL
 WIT = WITNESS
 WLP = WOOD LIGHT POLE
 WM = WATER METER
 WPP = WOOD POWER POLE
 WV = WATER VALVE

LINETYPES

— = BOUNDARY LINE
 — = STRUCTURE LINE
 - - - - - = CENTERLINE
 - . - . - . = EASEMENT LINE
 - - - - - = FENCE LINE
 — = OLD LOT LINE

SYMBOLS

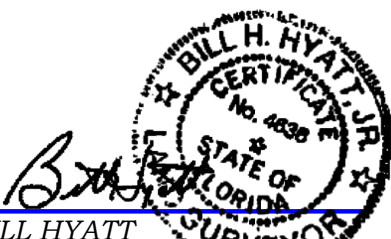
☉ = FIRE HYDRANT
 Ⓜ = WATER METER
 ⚡ = POWER POLE
 Ⓜ = GAS SERVICE
 ☀ = LIGHT POLE
 Ⓜ = WELL
 Ⓧ = BENCHMARK
 ▣ = CATCH BASIN
 Ⓜ = SANITARY MANHOLE
 Ⓜ = CABLE T.V. SERVICE
 Ⓜ = ELECTRIC SERVICE
 Ⓜ = TELEPHONE SERVICE
 Ⓜ = DRAINAGE MANHOLE
 Ⓜ = SANITARY SERVICE

SURVEYOR'S NOTES

1. THIS SURVEY DOES NOT DETERMINE OR INDICATE LAND OWNERSHIP.
2. THE SURVEYOR DID NOT RESEARCH OR ABSTRACT THE LAND RECORDS FOR RIGHTS-OF-WAY, EASEMENTS, RESERVATIONS, DEED RESTRICTIONS, ZONING REGULATIONS, SETBACKS, LAND USE PLAN DESIGNATIONS, ADJOINING DEEDS, LIENS, MURPHY ACT RIGHTS-OF-WAY, AREAS OF LOCAL CONCERN, OR OTHER SIMILAR JURISDICTIONAL DETERMINATIONS. TO THE EXTENT THAT THIS TYPE OF INFORMATION IS SHOWN, IT IS SHOWN SOLELY ON THE BASIS OF INFORMATION PROVIDED BY THE CLIENT OR INFORMATION OTHERWISE KNOWN TO THE SURVEYOR AND MAY NOT BE COMPLETE.
3. UNDERGROUND UTILITIES, BUILDING FOUNDATIONS, AND OTHER UNDERGROUND FIXED IMPROVEMENTS WERE NOT LOCATED, UNLESS OTHERWISE INDICATED. TO THE EXTENT THAT THIS TYPE OF INFORMATION IS SHOWN, IT IS SHOWN SOLELY ON THE BASIS OF SURFACE INDICATIONS OBSERVED BY THE SURVEYOR AND MAY NOT BE COMPLETE.
4. JURISDICTIONAL WETLANDS AND ENDANGERED OR THREATENED SPECIES HABITAT, IF ANY, THAT MAY EXIST ON OR AROUND THE SURVEY SITE WERE NOT DETERMINED OR LOCATED.
5. THE SURVEY DATE IS THE FIELD DATE SHOWN IN THE TITLE BLOCK, NOT THE SIGNATURE DATE.
6. THIS SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ELECTRONIC OR ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
7. FENCES SHOWN ON SURVEY ARE FOR ILLUSTRATIVE PURPOSES ONLY. FENCE TIES SHOWN ARE RELATIVE TO THE CENTER OF SAID FENCE. THE SURVEYOR WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL AND/OR CHANGES TO ANY FENCES UNLESS THE SURVEY WAS PROVIDED SPECIFICALLY FOR FENCE LOCATION PURPOSES.
8. PROPERTY LINES AND OR IMPROVEMENTS SHOWN WERE PHYSICALLY LOCATED BY FIELD SURVEY.
9. MONUMENTS FOUND OR SET ARE SHOWN, CALCULATED LINES AND INFORMATION IS NOTED BY (C).
10. COMPUTATIONS OF LINES AND OR DATA NOT FOUND ARE SHOWN AS (C).
11. ACCURACIES OBTAINED IN THIS SURVEY IS GREATER THAN (RURAL) 1' IN 5000', (SUBURBAN) 1' IN 7500', (COMMERCIAL) 1' IN 10,000'.
12. PRIOR TO SURVEY INFORMATION OBTAINED WAS LEGAL DESCRIPTION FROM CLIENT OR FROM PUBLICLY PUBLISHED COUNTY TAX COLLECTOR SITE, RECORDED PLATS AND OR SECTION CORNER RECORDS IF APPLICABLE.
13. IF ONLY A DIGITAL SURVEY COPY IS REQUIRED A SURVEY REPORT WILL BE PLACED IN FILE. THE DIGITAL SURVEY IS NOT FULL AND COMPLETE WITHOUT THE SURVEY REPORT FILE.

SURVEYOR'S SIGNATURE

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR BELOW. THE SURVEYOR HEREBY CERTIFIES THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES SET FORTH IN CHAPTER 5J-17.062 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.025, FLORIDA STATUTES. THE SURVEYOR HEREBY CERTIFIES THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE FOR SURVEYS, SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17.051 AND 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



3.9.21

DATE

BILL HYATT
 SURVEYOR AND MAPPER #4636
 STATE OF FLORIDA

FLORIDA BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER LB 6912

CERTIFIED TO:

ANDREAS WAGENKNECHT
 FIDELITY NATIONAL TITLE OF FLORIDA

KNOW IT NOW, INC.

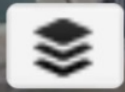
PROFESSIONAL SURVEYING AND MAPPING
 5220 US HIGHWAY 1, #104
 VERO BEACH, FL 32967
 PHONE - (888) 396-7770
 WWW.KINSURVEY.COM



01/12/2025

1 of 12

Latest



TaxAcct: 2204350



SUBJECT PROPERTY

LINDA AV

CAROL AV

SMITH DR SOUTH

SHERRY ST

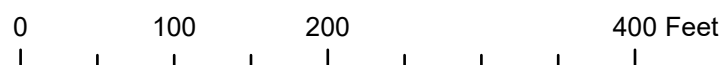
LOGAN DR

S PARK AV

JUNE NIGHT ST



Aerial 2025 VAR #1-2026





FEMA FLOOD HAZARD AREAS VAR #1-2026

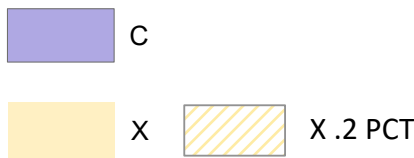
Special Flood Hazard Area Zones



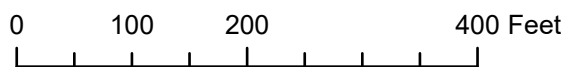
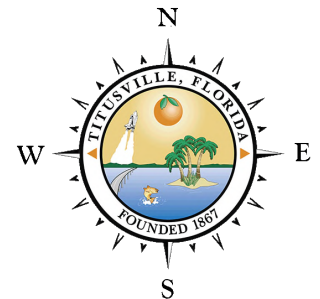
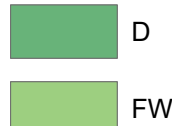
Moderate Flood Hazard Area Zone

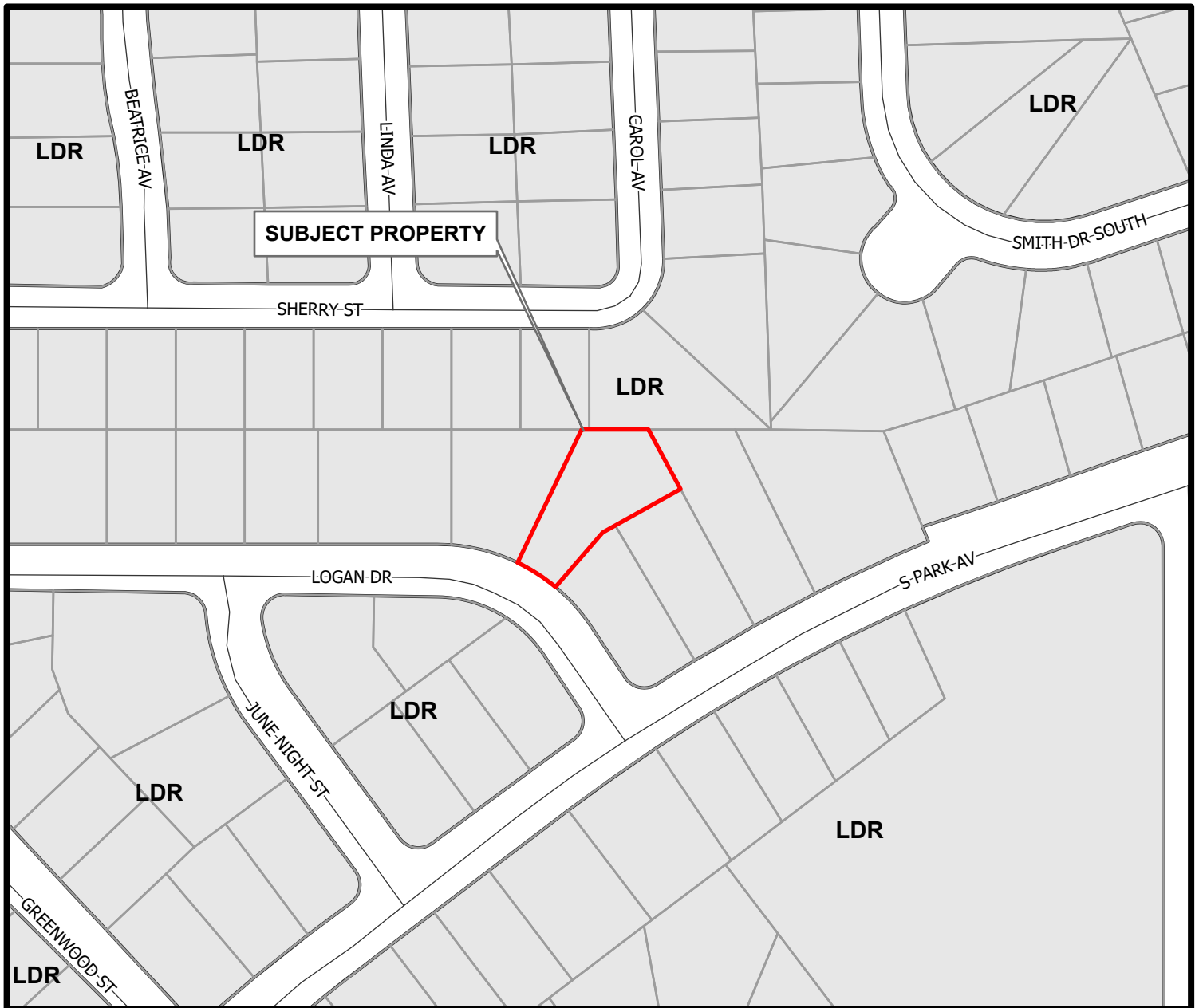


Minimal Flood Hazard Zones



Other Flood Zone Areas

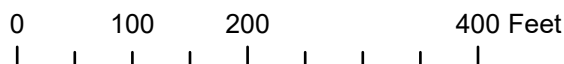
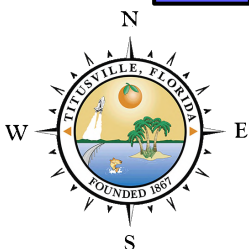


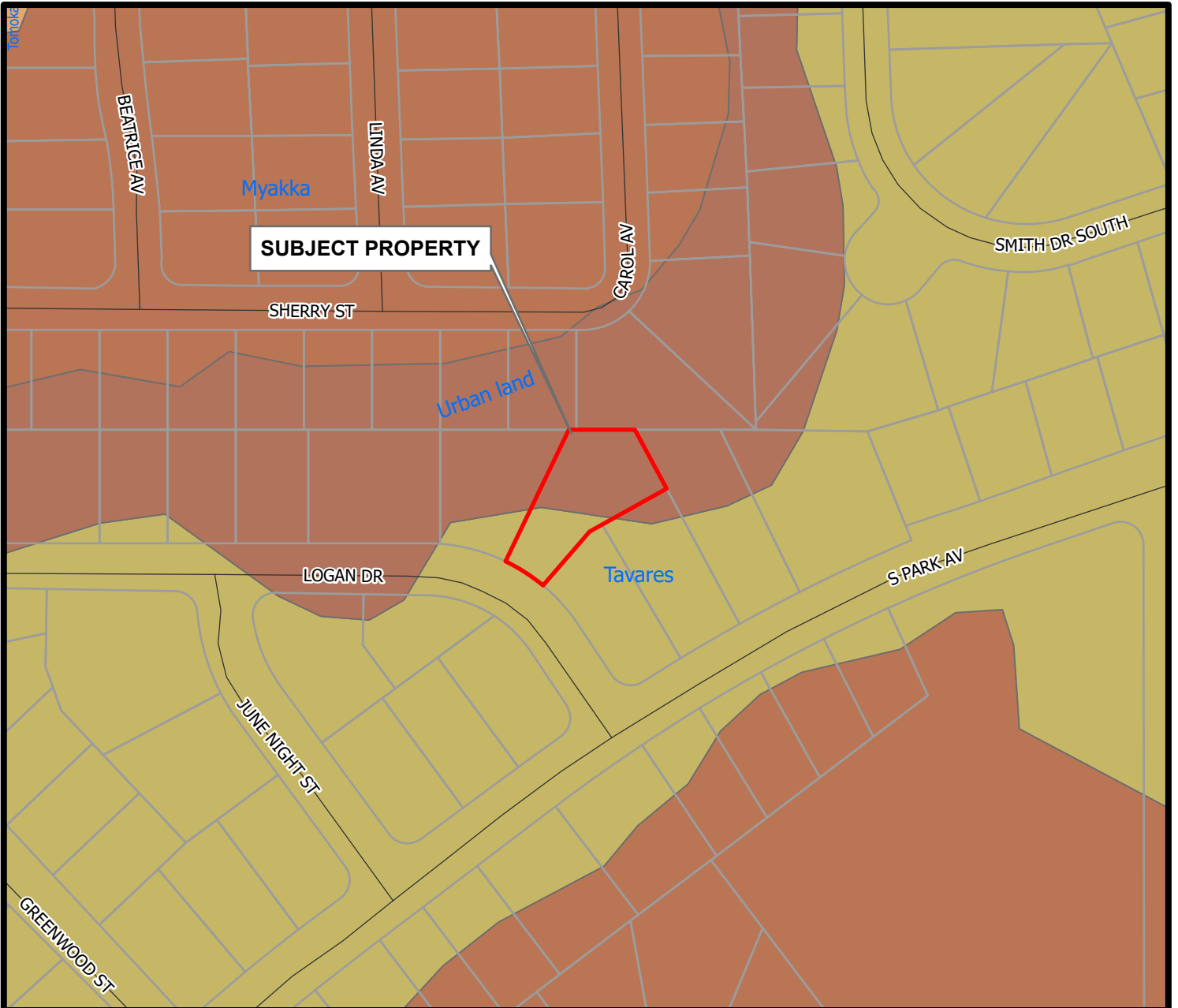


LOCATION OF PROPERTY AND FUTURE LAND USE MAP

CHI COMMERCIAL HIGH INTENSITY	ED EDUCATIONAL	PIP PLANNED INDUSTRIAL PARK	RES-2 RESIDENTIAL-2
CLI COMMERCIAL LOW INTENSITY	IND INDUSTRIAL	PSP PUBLIC/ SEMI-PUBLIC	RMU REGIONAL MIXED USE
CONS CONSERVATION	HDR HIGH-DENSITY RESIDENTIAL	PUD PLANNED UNIT DEVELOPMENT	SMU SHORELINE MIXED-USE
DMU DOWNTOWN MIXED-USE	MDR MEDIUM-DENSITY RESIDENTIAL	REC RECREATIONAL	UMU URBAN MIXED-USE
LDR LOW-DENSITY RESIDENTIAL	RES-1 RESIDENTIAL-1	US1 US-1 CORRIDOR	

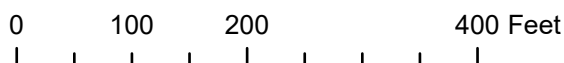
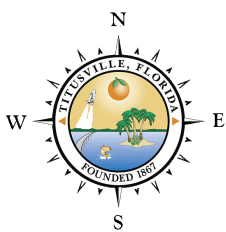
Subject





SOILS IN THE VICINITY OF SUBJECT PROPERTY VAR #1-2026

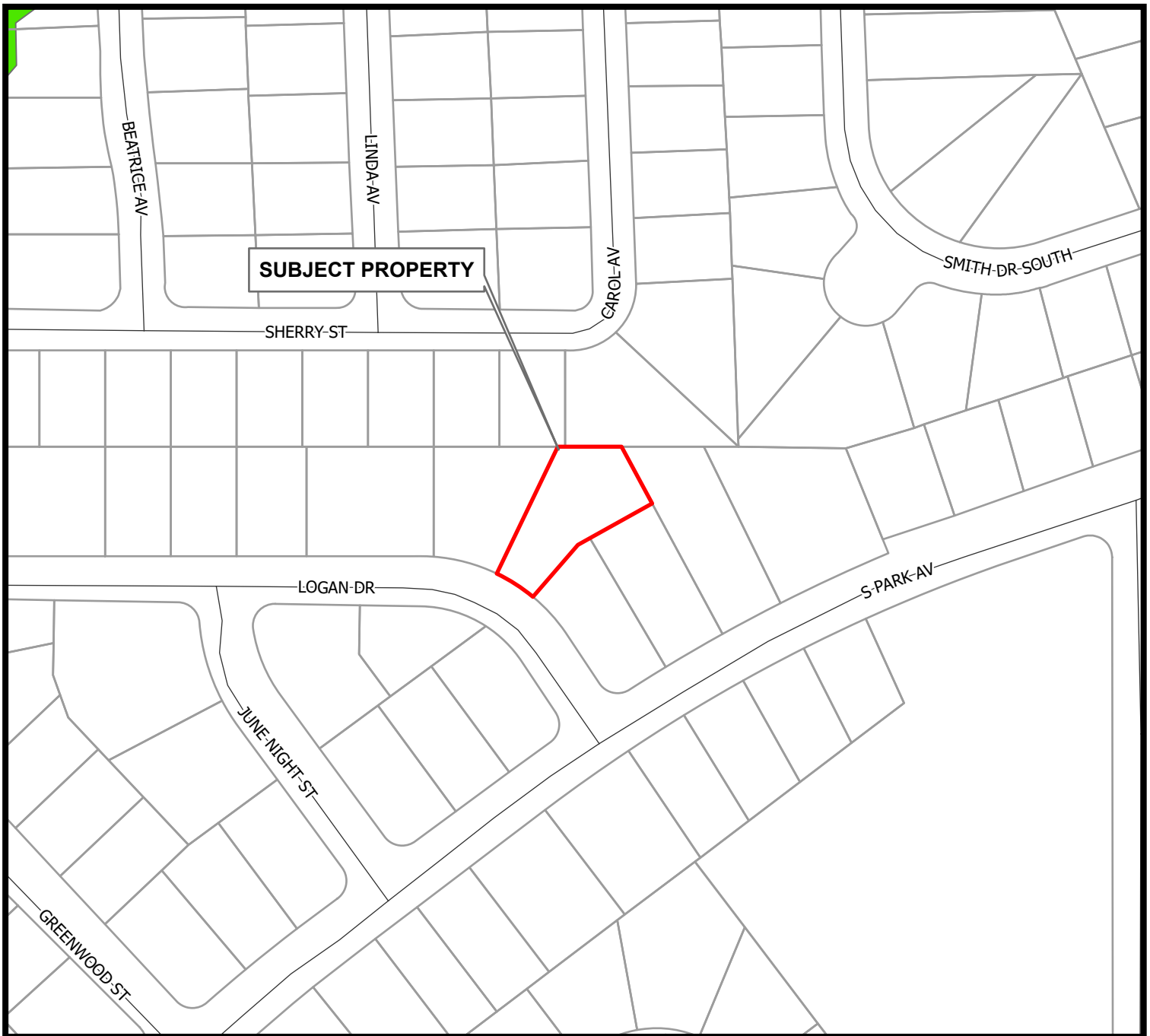
- Myakka
- Tavares
- Tomoka
- Urban land



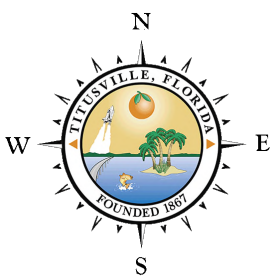
Community Development Department

Soils data source: The U.S. Department of Agriculture, Natural Resources Conservation Service. (2024)

1/8/2026



WETLANDS IN VICINITY OF PROPERTY VAR #1-2026



WETLAND_TY

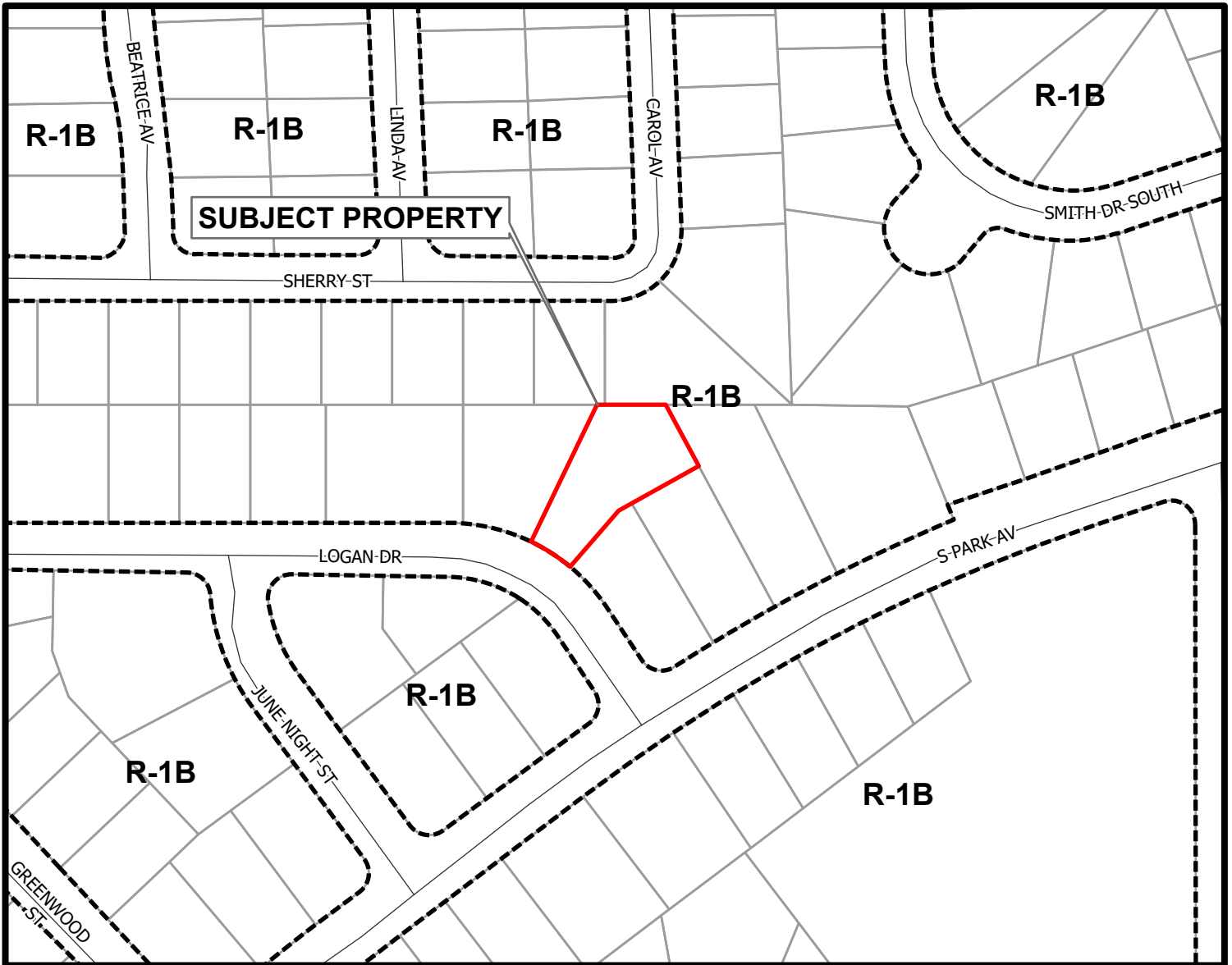
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland

- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine

1/8/2026

Scale:1:2,000

Community Development Department
Source: USFWS NWI (2023)



ZONING MAP

RESIDENTIAL DISTRICTS

- RE RESIDENTIAL ESTATES
- RR RURAL RESIDENTIAL
- R-1A SINGLE FAMILY, LOW DENSITY
- R-1B SINGLE FAMILY, MEDIUM DENSITY
- R-1C SINGLE FAMILY, HIGH DENSITY
- R-2 MULTIFAMILY, MEDIUM DENSITY
- R-3 MULTIFAMILY, HIGH DENSITY
- RMH-1 RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
- RMH-2 RESIDENTIAL MANUFACTURED HOUSING PARK

COMMERCIAL DISTRICTS

- HM HOSPITAL MEDICAL
- T TOURIST
- NC NEIGHBORHOOD COMMERCIAL
- CC COMMUNITY COMMERCIAL
- RC REGIONAL COMMERCIAL
- OP OFFICE PROFESSIONAL

SPECIAL DISTRICTS

- GU GENERAL USE
- OR OPEN SPACE AND RECREATION
- UMU URBAN MIXED USE
- SMU SHORELINE MIXED USE
- RHP RESIDENTIAL HISTORIC PRESERVATION
- RMU REGIONAL MIXED USE
- PD PLANNED DEVELOPMENT
- P PUBLIC
- UV URBAN VILLAGE
- DMU DOWNTOWN MIXED USE
- IRC-N INDIAN RIVER CITY NEIGHBORHOOD RESIDENTIAL
- IRC-C INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL

INDUSTRIAL DISTRICTS

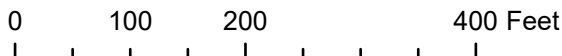
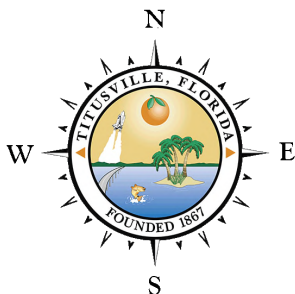
- M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2 HEAVY INDUSTRIAL
- M-3 HIGHWAY INDUSTRIAL INFILL
- PID PLANNED INDUSTRIAL DEVELOPMENT

OVERLAY DISTRICTS

- TSA TITUSVILLE SHORELINE AREA
- AIA AIRPORT IMPACT AREA
- WCA WETLAND AND CONSERVATION AREA
- ACC AREA OF CRITICAL CONCERN
- HPA HISTORIC PRESERVATION AREA

Base Map

- City Limits
- Zoning
- Subject



VAR #1-2026

Sec. 28-304. Single-Family Medium Density (R-1B).

Single-Family Medium Density (R-1B)		
<i>(a) Purpose</i>		
The Single-Family Medium Density (R-1B) district is designed as a district for the principal use of medium-density single-family dwellings. The purpose of the district is to promote orderly and proper development of single-family residential units together with certain structures and uses that are compatible with property in the district. It is further intended that governmental, religious, recreation and other immediate needs of this district are served while a quality environment is provided for the residents of this designation and City.		
<i>(b) Use Standards</i>	<i>Typical Lot Pattern</i>	
See Chapter 28 Article IV and Article V		
<i>(c) Intensity and Dimensional Standards</i>		
Lot area, minimum (sq. ft.)		7,500
Lot width, minimum (ft.)		75
Density, maximum (du/ac)		5.8
Floor area per dwelling unit, minimum (sq. ft.)		1,200
Building coverage, maximum (% of lot area)		35
Lot coverage, maximum (% of lot area)		NA
Height, maximum (ft.)		35
Front yard setback, minimum (ft.)		25
Side corner yard setback, minimum (ft.)		20
Interior side yard setback, minimum (ft.)		10
Rear yard setback, minimum (ft.)		25
Accessory Use Development Standards	See Chapter 28 Article VII	
NOTES:		
<i>Typical Development Configuration (For illustrative purposes only)</i>		



City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustment and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Variance (VAR) No. 2-2026, 2108 Malinda Lane**
Department/Office: Planning

Recommended Action:

Consider the requested variance to allow less than the required 15-foot interior side yard setback for a primary structure, for property located at 2108 Malinda Lane, Titusville.

Summary Explanation & Background:

The applicant is requesting a Variance to Land Development Regulations, Chapter 28, Section 28-302 Rural Residential (RR), Subsection 28-302(c), to allow less than the required 15-foot interior side yard setback for a primary structure, for property located in the Rural Residential (RR), at 2108 Malinda Lane, Titusville, FL 32796, as submitted by John Morrow, owner.

Alternatives:

1. Approve the Variance
2. Deny the Variance
3. Other

Item Budgeted:

N/A

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Variance 2-2026 Staff Report

2. Application for Variance
3. Survey
4. Plot Plan
5. Construction Drawings
6. Supplemental Material from Applicant
7. Code
8. All Maps VAR #2-2026



City of Titusville Community Development

1 **BOARD OF ADJUSTMENTS AND APPEALS**

2 **Variance (VAR) No. 2-2026, 2108 Malinda Lane**

3 **Meeting Date:** January 28, 2026

4 **Prepared By:** Tabitha Armstrong, AICP - Planner

5 **Applicant:** John Morrow, owner.

6 **Background**

7 (a) Variance request: Land Development Regulations, Chapter 28, Section 28-302
8 Rural Residential (RR). Section 28-302(c) - *To allow less than the required 15-foot*
9 *interior side yard setback for a primary structure*, for property located in the Rural
10 Residential (RR), at 2108 Malinda Lane, Titusville, FL 32796, as submitted by John
11 Morrow, owner.

12 (b) Location: 2108 Malinda Lane, Titusville, FL. Tax No. 2109248. Parcel I.D. 21-35-
13 33-00-311

14 (c) Land Description: E 100 FT OF W 225 FT OF S 1/2 OF S 10 AC OF W 25 AC OF
15 SE 1/4 OF NW 1/4 EX RD R/W

16 (d) Future Land Use: Residential Two

17 (e) Zoning: Rural Residential (RR)

18 (f) Surrounding Zoning Districts.

19 1. North: Rural Residential (RR)

20 2. South: Single Family Medium Density (R-1B)

21 3. East: Single Family Medium Density (R-1B)

22 4. West: Rural Residential (RR)

23 (g) Lot Characteristics: The subject property is a rectangular shaped lot approximately
24 .54 acres (23,522 sq. ft) and with 100 feet of frontage along Malinda Lane. These

Board of Adjustments and Appeals: Variance No. 2-2026

1 dimensions meet the minimum 21,780 sq. ft lot area but do not meet the 125-foot
2 lot width for a single-family home within the Rural Residential (RR) zoning district.

3 (h) Uses: Single Family Dwelling built in 1957

4 **Powers of the BAA**

5 LDR Section 34-226 states that the Board shall grant a variance request when in the
6 opinion of the Board of Adjustments and Appeals, owing to special conditions, the
7 literal enforcement of such ordinance or regulations would do manifest injustice to, or
8 impose an unnecessary hardship upon the applicant. In order to authorize any variance
9 to the provisions of such ordinance, the Board must consider the following criteria:

- 10 (a) Special conditions and circumstances exist which are peculiar to the land,
11 structure, or building involved and which are not applicable to other lands,
12 structures or building in the same zoning.
- 13 (b) Special conditions and circumstances do not result from the actions of the
14 applicant.
- 15 (c) Granting the variance requested will not confer upon the applicant any special
16 privilege that is denied by the ordinance to other lands, buildings or structures in
17 the same zoning district.
- 18 (d) The literal interpretation of the provisions of the ordinance would deprive the
19 applicant of rights commonly enjoyed by other properties in the same zoning
20 district under the terms of the ordinance.
- 21 (e) The variance granted is the minimum variance that will make possible the
22 reasonable use of the land, building or structure.
- 23 (f) The granting of the variance will preserve the spirit of the ordinance and remain
24 in harmony with its general purpose and intent.
- 25 (g) In granting the variance, the public safety and welfare must be assured.
- 26 (h) In no case shall the granting of a variance result in a change of use, which would
27 not be permitted in that zone.

28 **Analysis**

29 The applicant is requesting a variance to the Land Development Regulations (LDR),
30 Section 28-302(c), to allow an interior side yard setback of 13 feet 8 inches, where 15
31 feet is required for property located within the Rural Residential (RR) zoning district.
32 The subject property contains a single-family dwelling constructed in 1957 and is an
33 unplatted, rectangular-shaped lot consisting of approximately 0.54 acres (23,522
34 square feet) with 100 feet of frontage along Malinda Lane. While the lot meets the
35 minimum lot area requirement of 21,780 square feet for the RR zoning district, it does

Board of Adjustments and Appeals: Variance No. 2-2026

1 not meet the minimum lot width requirement of 125 feet for a single-family dwelling.
2 In 1993, the property was rezoned from Single-Family Medium Density (R-1B) to
3 Rural Residential (RR), rendering the lot nonconforming with respect to current RR
4 lot width standards.

5 The applicant proposes to construct an addition along the east interior side yard of the
6 dwelling in an area previously occupied by a block carport. The former carport has
7 been removed, and the survey submitted does not reflect the current layout of the
8 house. As a result, the concept plan does not clearly represent the variance request.
9 The applicant states that the existing structure now maintains an approximate 26-foot,
10 8-inch interior side yard setback, but without an updated survey, staff cannot verify
11 this information. Based on the applicant’s representation, the proposed addition
12 would extend 12 feet, 8 inches, resulting in an approximate 13-foot, 8-inch interior
13 side yard setback. All other applicable development standards of the RR zoning
14 district will be met.

15 The property has a nonconforming lot. The requested variance is not necessary to
16 allow reasonable use of the property. The removal of the carport brought the building
17 into greater conformance with the setback. The proposed addition appears to be a
18 self-created hardship. Alternative design options exist that would allow improvements
19 to the residence without encroaching into the required interior side yard setback.

20 **Recommendation**

21 Staff recommend **denial** of the variance request to allow an interior side yard setback
22 of 13 feet 8 inches instead of the required minimum of 15 feet. The requested variance
23 is not the minimum variance that will make possible the reasonable use of the land,
24 building or structure. Alternative design options exist that would allow improvements
25 to the residence without encroaching into the required interior side yard setback.



To be Completed by Staff

Application No. _____

Date Received: _____

Received by: _____

APPLICATION FOR VARIANCE

Please submit electronically a completed application and required submittals to the Community Development Department for payment and meeting scheduling. Chapter 34 of the Titusville Land Development Regulations contains the instructions for filing and the required exhibits. INCOMPLETE APPLICATIONS SHALL NOT BE ACCEPTED.

1. Project Location	Property Address/Location Description <i>2108 MALINDA LANE TITUSVILLE, FL 32796</i>																		
2. Applicant/ Owner	Name of Applicant/Contact <i>JOHN MORROW</i>		Name of Owner <i>JOHN MORROW</i>																
	Street Address <i>2108 MALINDA LANE</i>		Street Address <i>2108 MALINDA LANE</i>																
	City	State	Zip																
	<i>TITUSVILLE</i>	<i>FL</i>	<i>32796</i>																
	Telephone # <i>814 516-0457</i>		Telephone # <i>814 516-0457</i>																
Fax #		Fax #																	
E-Mail Address <i>becmorrow@earthlink.net</i>		E-Mail Address <i>becmorrow@earthlink.net</i>																	
3. Applicant Status	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Agent <input type="checkbox"/> Other																		
4. Parcel ID	<i>21 3533-00-311</i>	Tax Acct.	<i>2109248</i>																
5. Site Size	Acres: <i>0.54</i>	Square Feet: <i>7500</i>																	
6. Property Information	Current Zoning <i>RR</i>		Current Use of Property <i>RESIDENTIAL</i>																
	7. Variance(s) Requested	<table border="1"> <thead> <tr> <th>Section Number</th> <th>LDR Requirement</th> <th>Variance Requested</th> </tr> </thead> <tbody> <tr> <td>1) <i>28-302</i></td> <td>1) 31-5T</td> <td>1) <i>16 INCHES</i></td> </tr> <tr> <td>2)</td> <td>2) <i>INTERIOR SIDE</i></td> <td>2)</td> </tr> <tr> <td>1)</td> <td>3) <i>15FT. SETBACK</i></td> <td>3)</td> </tr> <tr> <td>4)</td> <td>4)</td> <td>4)</td> </tr> <tr> <td>5)</td> <td>5)</td> <td>5)</td> </tr> </tbody> </table>	Section Number	LDR Requirement	Variance Requested	1) <i>28-302</i>	1) 31-5T	1) <i>16 INCHES</i>	2)	2) <i>INTERIOR SIDE</i>	2)	1)	3) <i>15FT. SETBACK</i>	3)	4)	4)	4)	5)	5)
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1)	3) <i>15FT. SETBACK</i>	3)																	
4)	4)	4)																	
5)	5)	5)																	
8. Narrative	Please provide a brief description of your request and the proposed project: (Please complete justification questions on page 4 of this application) <i>WE WOULD LIKE TO BUILD A 32' X 12' 8" ADDITION, CONSISTING OF A PRIMARY BEDROOM AND BATH. WE ARE REQUESTING A VARIANCE FOR 16 INCHES</i>																		

Variance Justification

In answering the questions below, please be as specific as possible. Your answers will help the Board of Adjustments and Appeals and City staff to properly evaluate your variance request.
(Please attach a separate sheet if necessary)

1. Why are you unable to comply with the requirements? What hardship or injustice are you claiming?

THE PRIMARY SUITE ADDITION WE'VE PLANNED FALLS ABOUT 16 INCHES SHY OF THE REQUIRED SETBACK. OUR PROPERTY IS ZONED RR, HOWEVER, OUR NEIGHBORS TO THE EAST OF US ARE ZONED R-1B MEDIUM DENSITY SINGLE FAMILY DWELLING. THE INTERIOR SIDEYARD SETBACK FOR THEM IS 10 FEET. IF WE HAD THE SAME ZONING REQUIREMENTS, THERE WOULD BE NO NEED FOR A VARIANCE.

2. What is special about your property that would justify treating it differently than most other properties? (Examples of important special conditions include: narrow or odd shaped lot; excessive slope of land; soil or drainage limitations; unusual location of existing buildings on the lot; etc.) If the special conditions involve an existing building or structure, when was it built and are you the original owner?

THE HOUSE WAS BUILT IN THE 1950'S AND HAS ALWAYS BEEN ZONED A RESIDENTIAL PROPERTY. THE ORIGINAL FOOTPRINT OF THE HOUSE SHOWS A 12 FOOT PATIO / CARPORT, THAT HAS SINCE BEEN TORN DOWN. ALSO, OUR PROPERTY IS ONLY SLIGHTLY OVER THE MINIMUM OF BEING OVER 1/2 ACRE.

3. Is your variance request the minimum change from the requirements that you need to overcome your hardship? Explain your answer. (For example, suppose you are requesting a 5 foot variance to the side yard setback requirement in order to build a single car garage 15 feet wide. Your request would not be the minimum since a single car garage 11 feet wide would be adequate and would only require a 1 foot variance.)

OUR ADDITION WOULD BE 12' 8", WITH THE SETBACK BEING 15 FEET, WE'D ONLY BE OVER BY ABOUT 16 INCHES OF THE MINIMUM.

4. Explain why approval of your variance request would not likely result in harm to your neighbor's properties or to the general public.

OUR HOUSE SITS BACK ON THE PROPERTY AND THE CLOSEST NEIGHBORS HAVE A PRIVACY FENCE AND DO NOT SEE OUR PROPERTY. THIS ADDITION WOULD NOT ONLY IMPROVE OUR HOME VALUE, BUT WOULD BENEFIT THE NEIGHBORHOOD.

All applications shall require Community Development staff review prior to submittal.

- All applications shall be submitted to the Department electronically and officially logged in by 4:00 p.m. on deadline dates. Incomplete applications and applications without appropriate backup information/justification will not be accepted and will not be considered to be officially submitted until the appropriate information is submitted. Meeting dates for incomplete applications will not be set until all required information is submitted.
- Petitions requiring review from other boards or commissions prior to being forwarded to the Board of Adjustments and Appeals (BAA) are not guaranteed placement on the BAA schedule available on the City's website.

ACKNOWLEDGEMENT

I am the owner and/or legal representative of the owner of the property described which is the subject of this application. All answers to the questions in said application and all sketches and data attached to and made a part of this application are honest and true to the best of my knowledge and belief. Should this application be granted, I understand that any condition(s) imposed upon the granting of this request shall be binding to the owner, his heirs and successors in title to possession of the subject property. I understand that I must attend all applicable meetings and have been informed of the meeting date(s) and time(s). I understand that if I fail to appear at an applicable meeting, the appropriate Board or Commission may either table or deny the request.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the City Council, Board of Adjustment & Appeals, and Planning & Zoning Commission on this topic to properly noticed public hearings or to written communication to the City Clerk's Office, City of Titusville, P.O. Box 2806, Titusville, FL 32781

/s/

(Signature*)

John L. Marrow

12/22/25
(Date)

* By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.

FOR OFFICE USE ONLY

Date Received: _____
Accepted By: _____
Hearing Date: _____
Case Number: _____



SUBMITTAL CHECKLIST

Please fill out the following and submit the documents to the Community Development Department electronically. Payment of fees does not ensure a favorable decision. Additional information may include documents initially waived at the pre-application meeting but subsequently determined necessary by staff.

1.	Complete Application and Fees
2.	Warranty Deed
3.	Notarized Owner Authorization Form (If applicable)
4.	Legal Description (from a certified survey)
5.	Certified Survey (sealed and containing permanent reference points as described by Chapter 177, Florida Statutes, with bearings, distances and closures) in electronic PDF format.
6.	Digital plot or site plan, drawn to scale, illustrating the variance requested.
7.	Names, addresses and address labels for all property owners within 100 feet of the subject property. <i>Note: This listing is available from either the Brevard County Property Appraiser's Office or the City of Titusville Planning Department. Current charge for this service is \$35.00.</i>
8.	Pre-Application Meeting Held – Date: <i>JANUARY 28, 2026</i> Staff in Attendance:

Applicant Signature**

Date

/s/ *John L. Morrison*

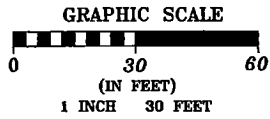
12/22/25

****** By entering your name in the "Signature" box above, you are signing this Application electronically. You agree your electronic signature is the legal equivalent of your manual signature on this Application. By entering your name in the "Signature" box above, you consent to be legally bound by this Application's terms and conditions.

LEGAL DESCRIPTION:

The East 100 feet of the West 225 feet of the South 1/2 of the South 10 acres of the West 25 acres of the Southeast 1/4 of the Northwest 1/4 of Section 33, Township 21 South, Range 35 East, lying and being in Brevard County, Florida, Less and Except 25 feet thereof.

MAP OF SURVEY



EXPLANATION OF ABBREVIATIONS

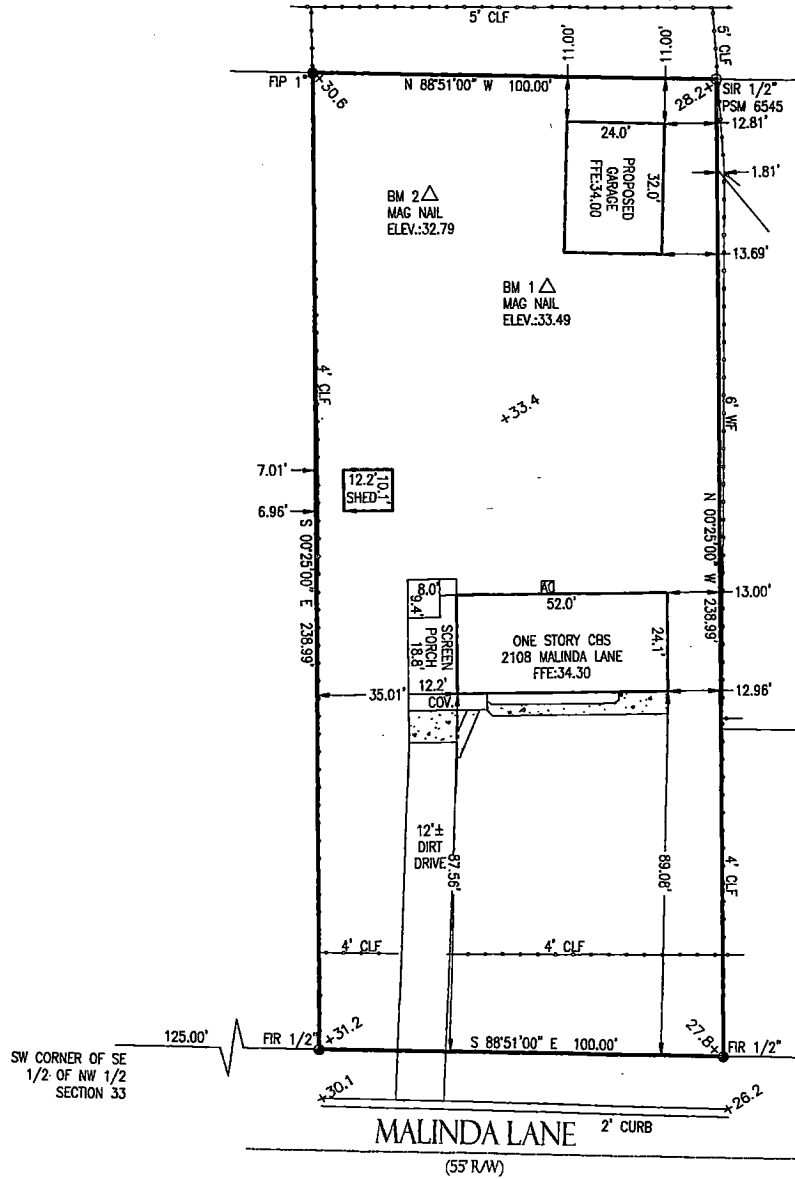
- LB LICENSED BUSINESS
- PLS PROFESSIONAL LAND SURVEYOR
- PSM PROFESSIONAL SURVEYOR & MAPPER
- PB PLAT BOOK
- ORB OFFICIAL RECORDS BOOK
- PG PAGE
- FIR FOUND IRON ROD
- SN&D SET NAIL & DISC
- FN&D FOUND NAIL & DISC
- R/W RIGHT OF WAY
- NOVD NATIONAL GEODETIC VERTICAL DATUM
- NAVD NORTH AMERICAN VERTICAL DATUM
- ELEV ELEVATION
- BFE BASE FLOOD ELEVATION
- FTE FINISHED FLOOR ELEVATION
- WM WATER METER
- CLF CHAIN LINK FENCE
- FIRM FEDERAL INSURANCE RATE MAP
- PUDE PUBLIC UTILITIES AND/OR DRAINAGE EASEMENT
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- CLS CENTERLINE OF SWALE
- WF WOODEN FENCE
- TYP TYPICAL
- BM BENCHMARK
- PI POINT OF INTERSECTION
- PC POINT OF CURVATURE
- (M) MEASURED DISTANCE
- (P) PLAT DISTANCE
- SIR SET IRON ROD
- WPP WOOD POWER POLE
- OIMW OVER HEAD WIRES
- W WATER METER
- WV WATER VALVE
- GV GAS VALVE
- SS SANITARY SEWER LINE
- CO CLEAN OUT

SURVEYOR'S NOTES:

1. Unless otherwise noted, only plotted easements are shown hereon.
2. P.U.D.E. denotes Public Utilities and Drainage Easement. P.U.E. denotes Public Utilities Easement.
3. No underground utilities or improvements were located unless otherwise shown.
4. Bearings shown hereon are based on the RIGHT OF WAY LINE OF MALINDA LANE, being S 88°51'00" E and may not be a True North Azimuth.
5. This site appears to lie within F.I.R.M. Zone "X" per Community Panel Number 12009C 0205G, dated 3/17/14.
6. Elevations shown based on NAVD 1988.

LEGEND:

- Found iron rebar, size and cap #
- △ Set nail and disk # PSM 6545
- △ Found nail and disk, identification # as shown
- 76.0 Existing spot elevation



Section 33, Township 21S, Range 35E

Drawn by: AR
 Checked by: JZ
 Scale: 1" = 30'
 Date: 12/14/20
 Project#20-540

LAYOUT SERVICES, INC.
 LAND SURVEYING & MAPPING
 3380 S. PARK AVE. STE 7
 TITUSVILLE, FL. 32780
 (321) 529-4484
 layout1@att.net

DATE	REVISIONS

PLOT PLAN SURVEY

Certified to: JOHN & REBECCA MORROW

I hereby certify that the survey shown hereon is true and correct to the best of my knowledge and belief, based on actual measurements taken in the field. This survey meets the Standards of Practice as set forth by the Florida Board of Professional Land Surveyors in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Digitally signed by James C Zimmerman
 DN: c=US, st=Florida, l=Titusville,
 o=LAYOUT SERVICES, INC.,
 cn=James C Zimmerman,
 email=layout1@att.net
 Date: 2021.01.29 13:44:59 -05'00'

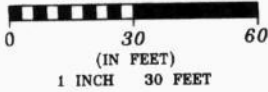
James Zimmerman
 Professional Land Surveyor No. 6545
 Certificate of Authorization No. 7540
 State of Florida

LEGAL DESCRIPTION:

The East 100 feet of the West 225 feet of the South 1/2 of the South 10 acres of the West 25 acres of the Southeast 1/4 of the Northwest 1/4 of Section 33, Township 21 South, Range 35 East, lying and being in Brevard County, Florida, Less and Except 25 feet thereof.

MAP OF SURVEY

GRAPHIC SCALE



EXPLANATION OF ABBREVIATIONS

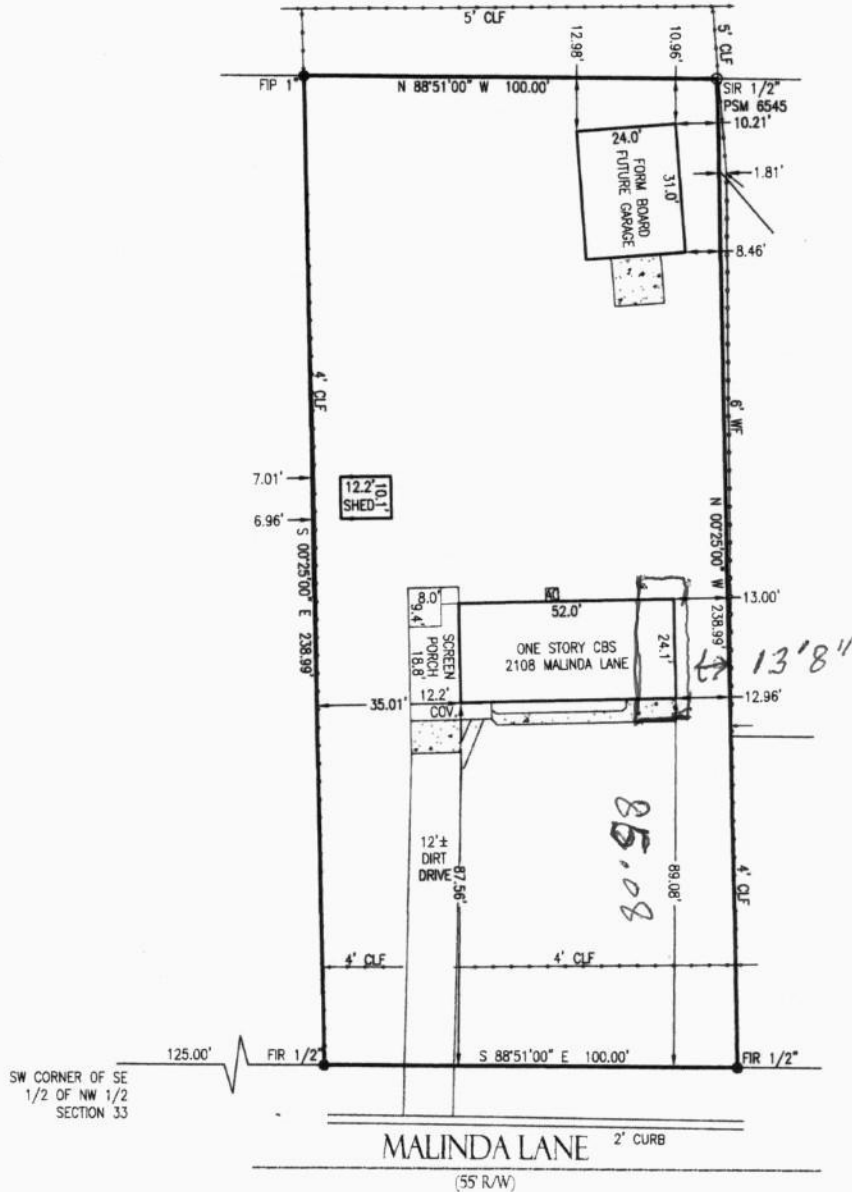
- LB LICENSED BUSINESS
- PLS PROFESSIONAL LAND SURVEYOR
- PSM PROFESSIONAL SURVEYOR & MAPPER
- PS PLAT BOOK
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- PG PAGE
- FR FOUND IRON ROD
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- R/W RIGHT OF WAY
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- WM WATER METER
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- RCP REINFORCED CONCRETE PIPE
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- WV WATER VALVE
- GV GAS VALVE
- SS SANITARY SEWER LINE
- CO CLEAN OUT

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- △ Set nail and disk # PSM 6545
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Section 33, Township 21S, Range 35E

Drawn by: **AR**
 Checked by: **JZ**
 Scale: 1" = 30'
 Date: 12/14/20
 Project #20-540

LAYOUT SERVICES, INC.
 LAND SURVEYING & MAPPING
 3380 S. PARK AVE. STE 7
 TITUSVILLE, FL. 32780
 (321) 529-4484
 layout1@att.net

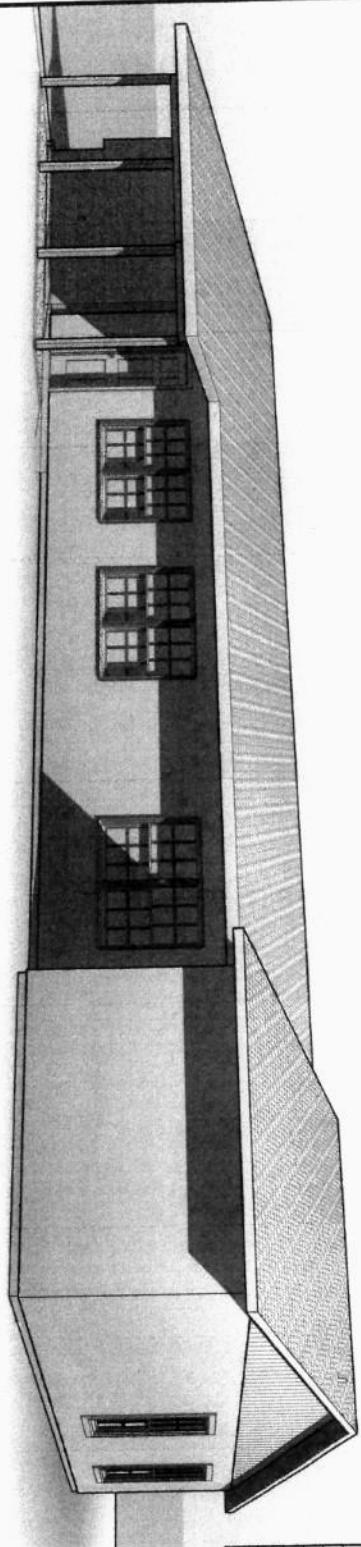
BOUNDARY & IMPROVEMENT SURVEY
 Certified to: **JOHN & REBECCA MORROW**

I hereby certify that the survey shown hereon is true and correct to the best of my knowledge and belief, based on actual measurements taken in the field. This survey meets the Standards of Practice as set forth by the Florida Board of Professional Land Surveyors in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

James Zimmerman
 Professional Land Surveyor No. 6545
 Certificate of Authorization No. 7540
 State of Florida

DATE	REVISIONS



Sheet List

G100	Cover Page
G101	General Notes
G102	Design Loads
AD101	Demolition Plan
A101	Floor Layout
A201	Elevations
A301	Window & Door Schedule
A302	Window Flashing Detail
A402	Building Sections
A501	Wall Details
S101	Foundation Plan
P101	Plumbing Plan
E100	Electrical Notes
E101	Electrical Plan

BUILDING CODE DATA

CONSTRUCTION TO BE IN ACCORDANCE WITH THE FOLLOWING NATIONAL AND STATE CODES:
 FLORIDA BUILDING CODE 2023, 8th EDITION
 FLORIDA BUILDING CODE RESIDENTIAL 2023, 8th EDITION
 FLORIDA PLUMBING CODE 2023, 8th EDITION
 FLORIDA MECHANICAL CODE 2023, 8th EDITION
 FLORIDA ELECTRIC CODE 2023, 8th EDITION
 FLORIDA FIRE PREVENTION CODE 2023, 8th EDITION
 NFPA 70 NATIONAL ELECTRIC CODE 2020
 NFPA 101 LIFE SAFETY CODE 2021
 CONSTRUCTION TO BE IN ACCORDANCE WITH THE FOLLOWING LOCAL CODES:
 CITY OF TITUSVILLE LAND DEVELOPMENT CODE
 CONSTRUCTION TO BE IN ACCORDANCE WITH THE FOLLOWING NATIONAL STANDARDS:
 AMERICAN WOODWORKING INSTITUTE
 TILE COUNCIL OF AMERICA

BUILDING CONSTRUCTION DATA

FLORIDA BUILDING CODE 2023
 OCCUPANCY TYPE
 CONSTRUCTION TYPE
 FIRE PROTECTION
 BUILDING HEIGHT
 NUMBER OF STORIES
LAND DEVELOPMENT CODE
 MUNICIPALITY
 ZONING TYPE
 MAX HEIGHT
 FRONT/REAR SETBACKS
 SIDE SETBACKS

R-3 SINGLE FAMILY RESIDENCE
 TYPE VB UNPROTECTED
 NON-SPRINKLERED
 EXISTING - NO CHANGE
 1

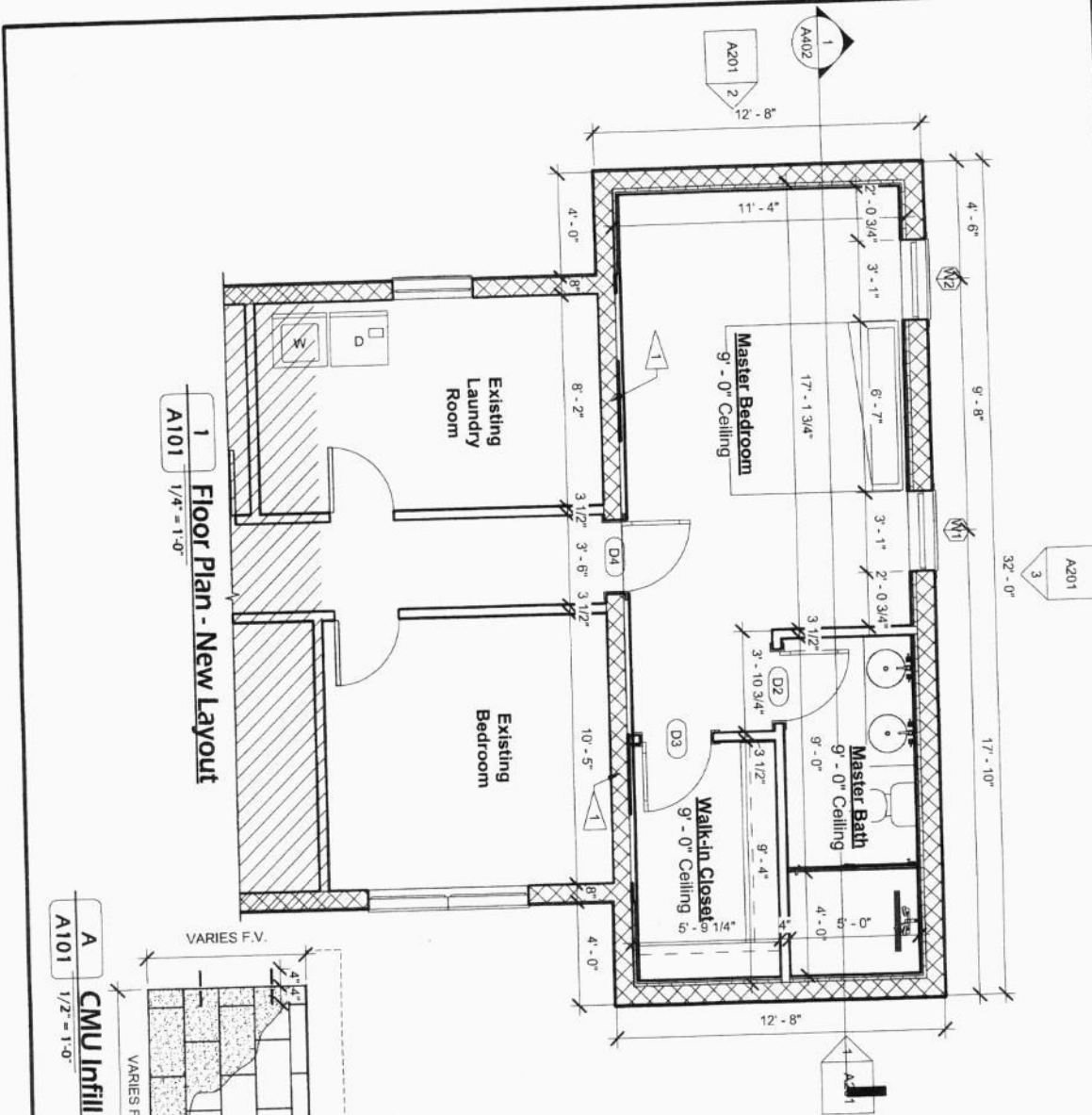
CITY OF TITUSVILLE
 RURAL RESIDENTIAL, RR
 35'-0"
 20'-0"
 10'-0"

STATUS	DESCRIPTION	DATE	BY
For Permitting	Ed Shinskie P. E. 47515 4707 Wild Turkey Rd. Mims, Florida 32754		

Rebecca and John Morrow
 2108 Malinda Lane
 Titusville, Florida 32754

Digital Design
 1000 E. US Highway 1
 Titusville, Florida 32754
 (321) 261-1111

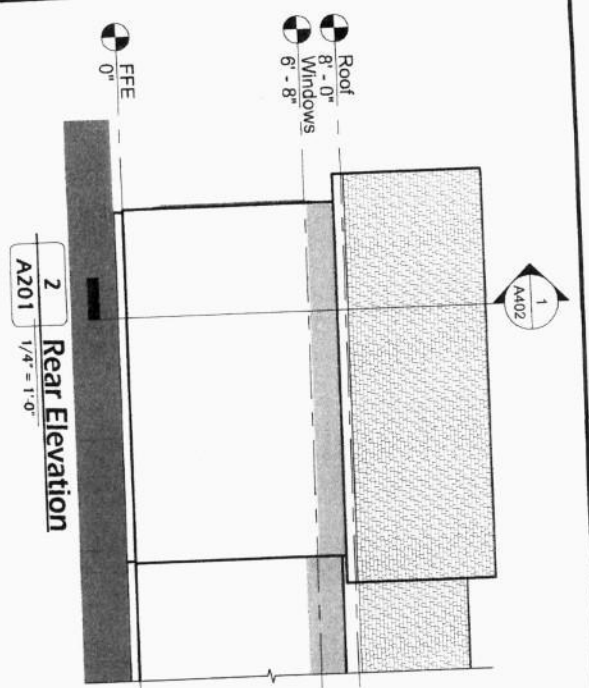
TITLE: Cover Page
 PROJECT NO: 25-0819
 DATE: 01/25/2025
 DRAWN BY: L. Kelley
 CHECKED BY: E. Shinskie



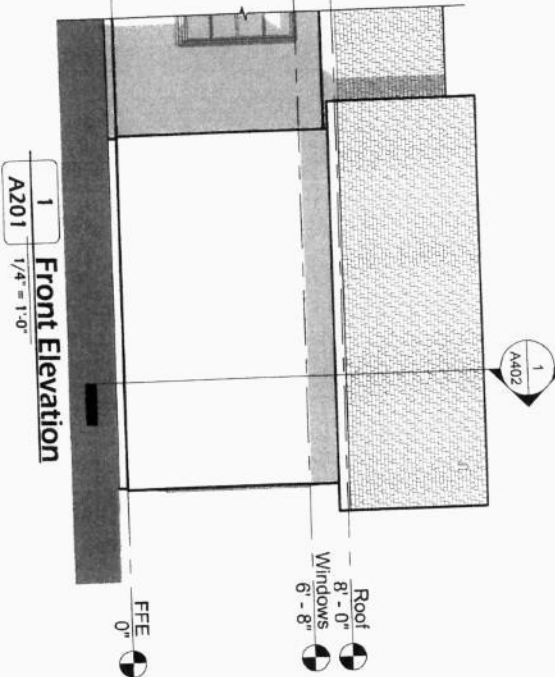
Keynotes

1	INFILL EXISTING OPENING WITH 8" CMU (ASTM C90) TO MATCH ADJACENT WALL. USE TYPE S MORTAR. TOOTHBOND NEW MASONRY TO EXISTING AND PROVIDE DOWEL REINFORCING, GROUT, BEARING/LINTEL SUPPORT, AND CONTROL JOINTS AS SHOWN IN INFILL DETAIL. RESTORE WATERWEATHER-RESISTIVE BARRIER, FLASHINGS, FIRE/Acoustic SEALS, AND INTERIOR/EXTERIOR FINISHES TO FULL CONTINUITY TO MATCH ADJACENT SURFACES (SEE INFILL DETAIL).
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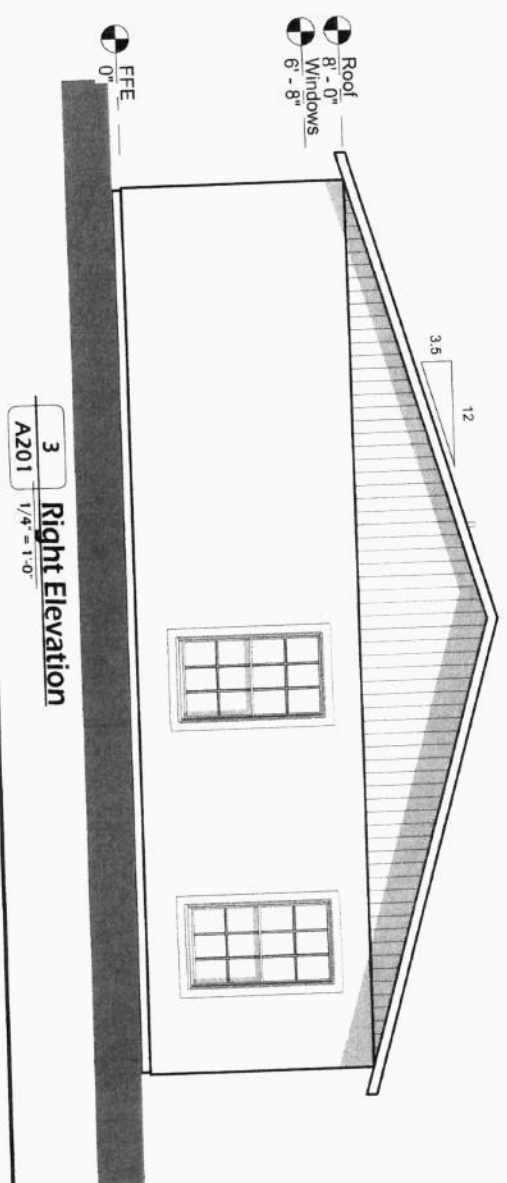
DATE	DESCRIPTION	BY	CHK	DATE
	For Permitting			
<p>Ed Shinskie P. E. 47515 4707 Wild Turkey Rd. Mims, Florida 32754</p>				
<p>Rebecca and John Morrow 2108 Malinda Lane Titusville, Florida 32754</p>				
TITLE	DATE	PROJECT	DESIGNER	DATE
Floor Layout	10 Oct 25	J. Madley	E. Shinskie	
PROJECT NO.	CONTRACT NO.	KEYNOTE		
25-0819		A101		



2 Rear Elevation
 AZ01 1/4" = 1'-0"



1 Front Elevation
 AZ01 1/4" = 1'-0"



3 Right Elevation
 AZ01 1/4" = 1'-0"

DATE	DESCRIPTION	BY	CHECKED
18 Oct 25	For Permitting	J. Kelly	E. Shinskie
25-0819		AZ01	

Ed Shinskie
 P.E. 47515
 4707 Wild Turkey Rd.
 Mims, Florida 32754

Digital Design
 18001 100th
 18001 100th
 18001 100th
 18001 100th

CLIENT
 Rebecca and John Morrow
 2108 Malinda Lane
 Titusville, Florida 32754

TITLE
 Elevations

Window Schedule

Window Mark	Count	Family and Type	Rough Opening		Sill Height	Comments
			Width	Height		
W1	1	Single Hung Flange 25SH	37"	63"	1' - 5"	Egress Window - Windborne Debris protection required per R301.2.1.2
W2	1	Single Hung Flange 25SH	37"	63"	1' - 5"	Egress Window - Windborne Debris protection required per R301.2.1.2


Door Schedule

Door Mark	Count	Family and Type	Rough Opening		Comments
			Width	Height	
D2	1	Door-Trusslile Doors-TS2040, 32" x 80"	2' - 8"	6' - 8"	
D3	1	Door-Trusslile Doors-TS2040, 32" x 80"	2' - 8"	6' - 8"	
D4	1	Door-Trusslile Doors-TS2040, 32" x 80"	2' - 8"	6' - 8"	
D11	1	Single-Fush. 30" x 80"	2' - 6"	6' - 8"	
D12	1	Single-Fush. 30" x 80"	2' - 6"	6' - 8"	

WINDOW SCHEDULE NOTES:

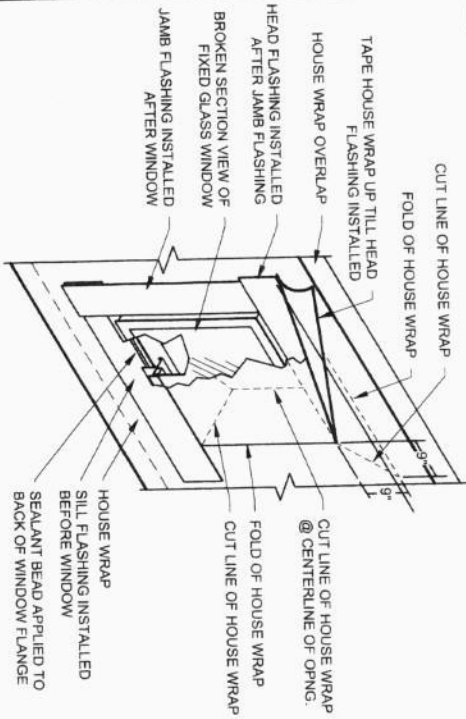
1. PROVIDE WINDOWS IN ACCORDANCE WITH FBC 2023 AND MANUFACTURER INSTRUCTIONS WITH CURRENT FLORIDA PRODUCT APPROVAL OR MAAMI-DADE NOA, LABEL EACH UNIT ON DELIVERY AND INSTALLATION WITH SERIES, SIZE, OPERATION, GLASS TYPE, FINISH, AND DP-RATING.
2. FURNISH UNITS WITH TESTED DP RATINGS AT OR ABOVE THE PROJECT'S DESIGN PRESSURES (POSITIVE AND NEGATIVE), PROVIDE MILLIONS AND ANCHORS MEETING REQUIRED CAPACITIES; INSTALL ANCHORS PER MANUFACTURER TABLES OR THE ENGINEERED FASTENER SCHEDULE.
3. IN WIND-BORNE DEBRIS REGIONS, PROVIDE IMPACT-RATED GLAZING OR CODE-APPROVED SHUTTERS THAT PROTECT THE FULL OPENING, MATCHING THE PROTECTION TYPE SHOWN ON THE SCHEDULE.
4. PROVIDE EMERGENCY EGRESS AND RESCUE OPENINGS (EERO) AT ALL SLEEPING ROOMS AS SCHEDULED. EACH DESIGNATED EERO SHALL DELIVER NET CLEAR OPENING 2 5/7 SQ FT (2 5/8 SQ FT AT GRADE FLOOR), CLEAR WIDTH 2 20 IN, CLEAR HEIGHT 2 24 IN, AND SILL HEIGHT 5 44 IN ABOVE FINISHED FLOOR. INSTALL UNITS OPERABLE FROM THE INTERIOR WITHOUT KEYS OR TOOLS.
5. PROVIDE TEMPERED/SAFETY GLAZING WHERE REQUIRED BY CODE, INCLUDING LOCATIONS ADJACENT TO DOORS, AT TUBSHOWERS, NEAR WALKING SURFACES, AND OTHER HAZARDOUS LOCATIONS.
6. WHERE THE LOWEST OPERABLE PART IS < 24 IN ABOVE THE INTERIOR FLOOR AND THE EXTERIOR DROP EXCEEDS 72 IN, INSTALL WINDOW OPENING CONTROL DEVICES OR GUARDS PER CODE.
7. PROVIDE GLAZING PERFORMANCE MEETING ENERGY CODE FOR CLIMATE ZONE 2. INSTALL UNITS ACHIEVING SPECIFIED U-FACTOR AND SHGC, FURNISH LOW-E AND GAS FILL WHERE INDICATED.
8. INSTALL WINDOWS PER ASTM E2112 AND MANUFACTURER REQUIREMENTS. PROVIDE PAN FLASHING, SLOPED SILLS, AND CONTINUOUS HEAD/JAMB FLASHING INTEGRATED WITH THE WRB PER FBC R703.4. SEAL WITH COMPATIBLE SEALANTS AND BACKER ROD. MAINTAIN SHIMS, CLEARANCES, WEERS, AND DRAINAGE PATHS.
9. PROVIDE INSULATED GLASS UNITS AS SCHEDULED. PROVIDE LAMINATED GLAZING WHERE IMPACT RATING IS REQUIRED AND TEMPERED GLAZING WHERE NOTED. MATCH INTERIOR AND EXTERIOR FINISHES TO THE SCHEDULE.
10. USE STAINLESS STEEL OR MANUFACTURER-APPROVED COATED FASTENERS SUITABLE FOR COASTAL EXPOSURE. ISOLATE DISSIMILAR METALS TO PREVENT CORROSION.
11. VERIFY ROUGH OPENINGS PRIOR TO FABRICATION AND INSTALLATION. CONFIRM CLEAR OPENING DIMENSIONS ON ALL EERO UNITS TO MEET REQUIREMENTS.
12. SUBMIT PRODUCT APPROVALS, NAFS PERFORMANCE DATA WITH DP RATINGS, MANUFACTURER EGRESS CLEAR-OPENING DATA FOR EERO UNITS, INSTALLATION INSTRUCTIONS, AND SHOP DRAWINGS FOR MILLED ASSEMBLES PRIOR TO FABRICATION.

DATE	25-08-19	DESCRIPTION	For Permitting	DATE	25-08-19
PROJECT	2108 Malinda Lane Titusville, Florida 32754	CLIENT	Rebecca and John Morrow	DESIGNER	Ed Shinskie P.E. 47515 4707 Wild Turkey Rd. Mims, Florida 32754
TITLE	Window & Door Schedule	DATE	18 Oct 25	PROJECT	2108 Malinda Lane
PROJECT NO.	25-0819	DATE	18 Oct 25	DESIGNER	Ed Shinskie



Digital Design
ARCHITECTS & ENGINEERS
1800 W. US HWY 90, SUITE 100
MIMMS, FLORIDA 32754
TEL: 352.886.1111 FAX: 352.886.1112
WWW.DIGITALDESIGNFLA.COM

**WINDOW FLASHING DETAIL
DERIVED FROM ASTM STANDARD E2112-01**

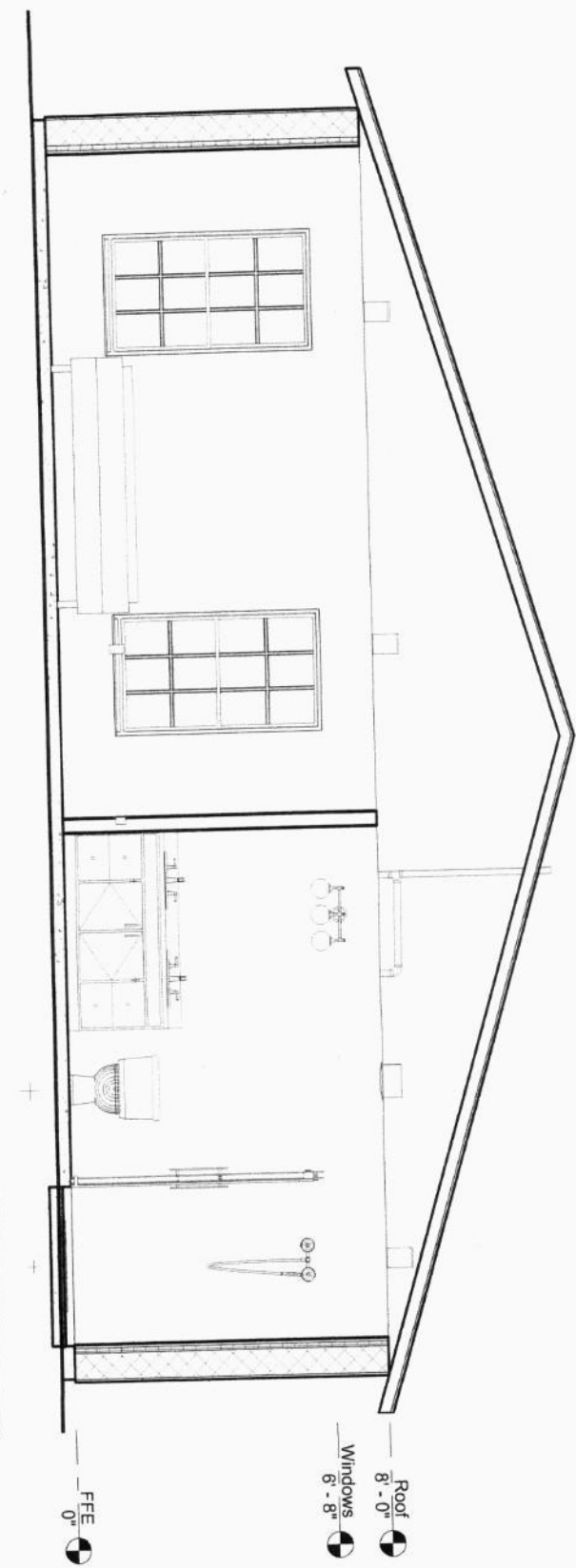


NOTE: THE APPLICATION OF AN ADDITIONAL BEAD OF SEALANT TO THE OUTSIDE OF THE FLANGE MAY NOT BE NECESSARY IF USING SELF-ADHESIVE TYPE FLASHING OVER THE MOUNTING FLANGE AS LONG AS THE FLASHING SECURELY ADHERES. SOME FLASHING MANUFACTURERS MAY REQUIRE THE USE OF PRIMER MATERIALS TO HELP FACILITATE THE BONDING TO THE VARIOUS SUBSTRATES. WHEN USING SEALANT NEAR SELF-ADHESIVE FLASHING, DO NOT USE SEALANT THAT CONTAINS SOLVENT. ALWAYS CONSULT WITH THE FLASHING SUPPLIER TO DETERMINE COMPATIBILITY WITH THE VARIOUS INSTALLATION MATERIALS AND TO OBTAIN SPECIFIC INSTALLATION TECHNIQUES. REFER TO 5.12.3.1.2.

1
Window Flashing Detail
A302
1/2" = 1'-0"

- STEP 1: APPLY THE HOUSE WRAP IN WATER SHEDDING FASHION, STARTING AT THE BASE OF THE WALL AND WORKING TOWARDS THE TOP. WHERE THE HOUSE WRAP COVERS THE WINDOW, CAREFULLY CUT THE BARRIER IN A MODIFIED T-PATTERN. FOLD THE BOTTOM AND SIDE FLAPS OVER AND BEHIND THE INTERIOR SIDE OF THE FRAMING. ATTACH THE BARRIER INTO POSITION ON THE INSIDE OF THE ROUGH OPENING. AT THE TOP CORNER OF THE HEAD OF THE OPENING, MEASURE 9 IN UP AND 9 IN OVER AND PLACE A MARK. AT A 45° ANGLE, CAREFULLY CUT THE BARRIER ON A DIAGONAL. GENTLY RAISE THE TOP EDGE OF THE BARRIER UP AND TEMPORARILY TAPE THE TOP CORNERS AND CENTER TO THE EXTERIOR WEATHER RESISTANT BARRIER SURFACE ABOVE. THIS IS DONE IN ORDER TO ALLOW FOR INSTALLATION OF THE WINDOW AND FLASHING LATER.
- STEP 2: APPLY THE HORIZONTAL SILL FLASHING MATERIAL NEXT. LEVEL WITH THE TOP EDGE OF THE ROUGH OPENING. CUT THE SILL FLASHING LONG ENOUGH TO EXTEND AN EQUAL DISTANCE BEYOND THE 9 IN. JAMB FLASHING, WHICH WILL BE APPLIED LATER. SECURE THE TOP EDGE OF THE SILL FLASHING TO THE FRAMING.
- STEP 3: APPLY A CONTINUOUS BEAD OF SEALANT TO THE BACK SIDE (INTERIOR SURFACE) OF THE MOUNTING FLANGE OF THE WINDOW. SEALANT SELECTION AND BEAD DESIGN SHALL BE IN ACCORDANCE WITH 5.18 OF THE INSTALLATION PROCEDURES. IMMEDIATELY SET THE WINDOW INTO THE OPENING, AND APPLY SHIMS AS REQUIRED TO ENSURE THE UNIT IS PLUMB, LEVEL, AND SQUARE. FASTEN THE WINDOW PERIMETER SECURELY INTO POSITION AS DESCRIBED IN 5.14. (1) FOR WINDOWS WITH MECHANICALLY JOINED MOUNTING FLANGES, APPLY SEALANT TO THE FULL LENGTH OF THE JOINTS OR SEAM WHERE THE FLANGES MEET.
- STEP 4: INSTALL THE JAMB FLASHING NEXT. SECURE THE FLASHING ONTO THE MOUNTING FLANGES AND HOUSE WRAP. EXTEND THE BOTTOM EDGE OF THE JAMB FLASHING 3-1/2 IN. BEYOND THE ROUGH OPENING SILL, AND EXTEND THE TOP EDGE 8-1/2 IN. BEYOND THE ROUGH OPENING HEAD. WHERE THE HEAD FLASHING WILL BE PLACED NEXT, TUCK THE TOP OF THE JAMB FLASHING UNDER THE FLAP OF THE WEATHER RESISTANT BARRIER AT THE HEAD.
- STEP 5: INSTALL THE HEAD FLASHING ACROSS THE MOUNTING FLANGE. EXTEND THE ENDS OF THE HEAD FLASHING 10 IN. BEYOND THE ROUGH OPENING, OVER THE TOP OF THE JAMB FLASHING. SECURE THE HEAD FLASHING INTO PLACE ALONG THE TOP.
- STEP 6: REMOVE THE PREVIOUSLY APPLIED TAPE, WHICH HOLDS THE FLAP OF THE WEATHER RESISTANT BARRIER AT THE HEAD. ALLOW THE FLAP TO LAY FLAT OVER THE HEAD FLASHING. APPLY A NEW PIECE OF SHEATHING TAPE OVER THE ENTIRE DIAGONAL. CUT MADE IN THE WEATHER RESISTANT BARRIER. THE TAPE SHOULD BE COMPRESSED AGAINST THE WEATHER BARRIER AND THE HEAD FLASHING, WHICH EXTENDS OVER THE JAMB.

<p>This form has been electronically signed and sealed by Edward P. Shinskie, P.E. on the date and/or time stamp shown using a log-on/signature key and sealed and the signature must be verified on any electronic copy.</p>		
<p>REQ. NO. A302</p>	<p>DESCRIPTION For Permitting</p>	<p>DATE</p>
<p>Ed Shinskie, P.E. 4707 Wild Turkey Rd. Mims, Florida 32754</p>		
<p>Rebecca and John Morrow 2108 Mallinda Lane Titusville, Florida 32754</p>		
<p>Digital Design 18000 Highway 1A Mims, Florida 32754 Tel: 352-886-2222 Fax: 352-886-2223</p>		
<p>TITLE Window Flashing Detail</p>	<p>DATE 18 Oct 25</p>	<p>DESIGNER E. Shinskie</p>
<p>PROJECT NO. 25-0819</p>	<p>COMMITTEE A302</p>	<p>INTEGRATOR</p>



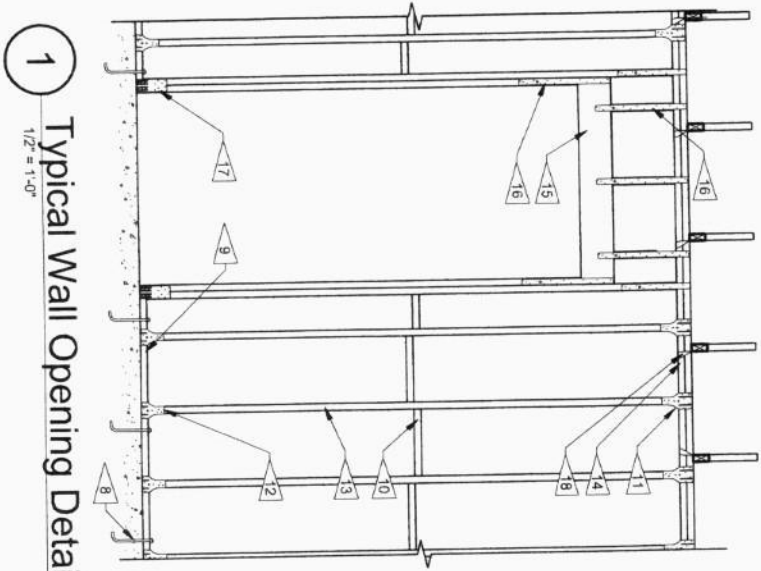
Keynotes

1 Building Section
 A402 3/8" = 1'-0"

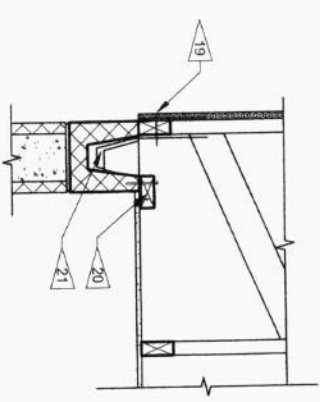
DATE	DESCRIPTION	BY	CHK'D
10/15/13	For Permitting	Ed Shinskie	
Ed Shinskie P.E. 47515 4707 Wild Turkey Rd. Mims, Florida 32754			
Digital Design 2108 Malinda Lane Titusville, Florida 32754			
Rebecca and John Morrow Building Sections			
PROJECT NO.	TITLE	DATE	SCALE
25-0619	Building Sections	10/15/13	3/8" = 1'-0"
DATE	BY	CHK'D	SCALE
10/15/13	J. Morrow	E. Shinskie	3/8" = 1'-0"

Keynotes

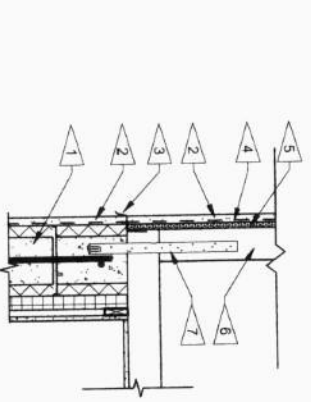
1	PRECAST CONCRETE LINTEL. SEE LINTEL SCHEDULE FOR TYPE AND SIZE. (TYPICAL)
2	7/8" PORTLAND-CEMENT PLASTER (STUCCO) FINISH APPLIED IN THREE COATS DIRECTLY OVER CMU BLOCK WALL PER ASTM C926. PROVIDE SPATCH, BROWN, AND FINISH COATS WITH TOTAL THICKNESS OF 7/8" NOMINAL. APPLY BONDING AGENT IF REQUIRED FOR SECTION CONTROL. TOOL FINISH COAT TO MATCH ARCHITECTURAL TEXTURE. PROVIDE CONTROL JOINTS AT CHANGES IN PLANE AND AS REQUIRED TO LIMIT CRACKING. CURE IN ACCORDANCE WITH ASTM C926 AND MANUFACTURER'S GUIDELINES.
3	THROUGH WALL & RECEIVER FLASHING
4	TWO LAYERS OF WATER RESISTANT BARRIER, 30 LB. FELT MIN.
5	3/4" PL WOOD
6	WOOD FRAMING
7	PROVIDE SIMPSON HETA20 EMBEDDED TRUSS ANCHORS AT EACH TRUSS BEARING POINT. EMBEDDED PER MANUFACTURER'S REQUIREMENTS INTO CONCRETE OR MASONRY. ALIGN ANCHORS WITH TRUSS UPLIFT FORCES. FASTEN TO TRUSS WITH SPECIFIED NAILING (TYP. (6) 10D NAILS OR AS ENGINEERED). MAINTAIN REQUIRED EDGE DISTANCES AND CONCRETE COVER. INSTALL PER LATEST SIMPSON STRONG-TIE ESR AND FBC APPROVAL.
8	1/2" ANCHOR BOLT W/ 2" WASHERS @24" O.C. (MIN. 8" EMBEDMENT)
9	2X4 PRESSURE TREATED WOOD
10	2X4 FIRE BLOCKING
11	SIMPSON SP2 STUD PLATE TIE AT EACH STUD TO TOP PLATE CONNECTION
12	SIMPSON SP1 STUD PLATE TIE
13	2X4 STUDS @ 16" O.C.
14	DOUBLE TOP PLATE
15	DBL. 2X8 HEADER
16	SIMPSON WSTA24 STRAP TIES
17	SIMPSON DSP DOUBLE STUD PLATE TIE
18	PROVIDE SIMPSON HTS20 TRUSS STRAP AT EACH TRUSS-TO-TOP PLATE CONNECTION. TYPICAL INSTAL. PER MANUFACTURER'S INSTRUCTIONS USING SPECIFIED NAILING INTO TRUSS AND DOUBLE TOP PLATE. USE HOT-DIPPED GALVANIZED NAILS OR EQUIVALENT STRUCTURAL FASTENERS. ENSURE FULL BEARING AND STRAP CONTACT TO WOOD SURFACES.
19	1/2" SHEATHING BD NAILS @ 12" O/C FIELD 4" O/C JOINTS & EDGES
20	(2X4) P.T. NAILER ATTACH TO BOND BEAM W/CASE HARDENED NAILS
21	WETA 12 BY SIMPSON SPACED @ 24" O.C. (S/GAGED) PLACE ONE INSIDE @ 48" O.C. AND ONE OUTSIDE @ 48" O.C. (SEE GABLE END ATTACHMENT DETAIL)



1 Typical Wall Opening Detail
1/2" = 1'-0"



2 Gable End Anchor Detail
1" = 1'-0"



3 Frame to CMU Transition
1" = 1'-0"

This item has been electronically signed and sealed by Edward F. Shinkas, P.E. on the date and time stamp shown. It is a true and correct copy of the original document and is not considered signed and sealed and the signature shall be verified on any electronic copy.

REV.	DESCRIPTION	DATE
01	For Permitting	

Ed Shinkas, P.E.
4707 Wild Turkey Rd.
Mims, Florida 32754

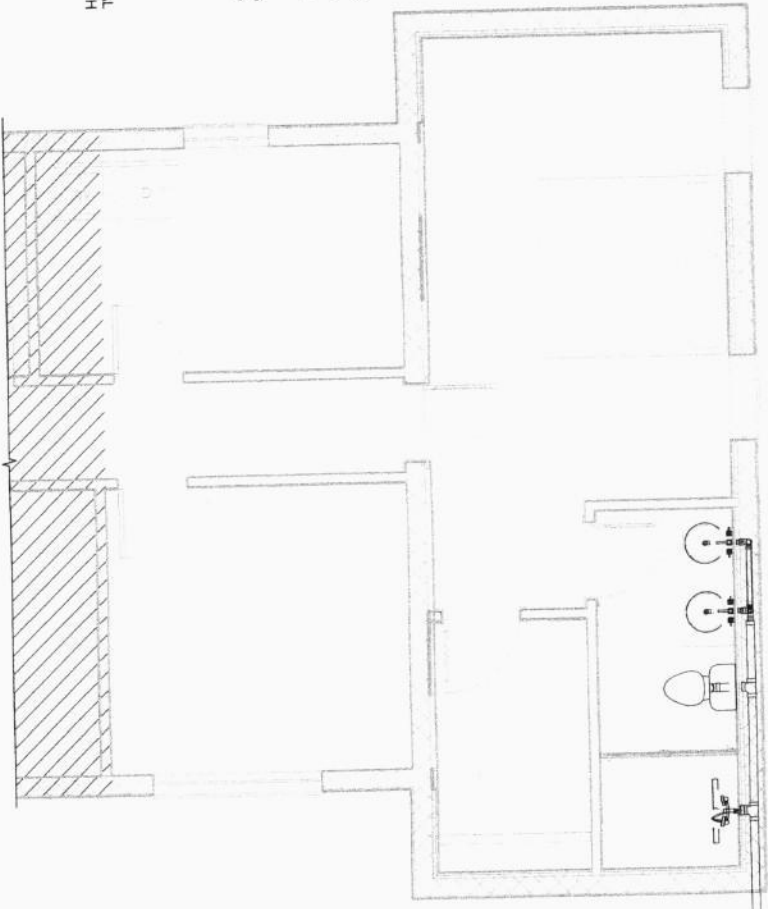
Digital Design
Professional Engineering & Architecture
2500 West Highway 90
Mims, Florida 32754
Phone: 352-383-3333
Fax: 352-383-3334

Rebecca and John Morrow
2108 Mallinda Lane
Titusville, Florida 32754

TITLE	SITE	DATE	DESIGNER
Wall Details	18 Oct 25	J. Kelly	E. Shinkas
PROJECT NO.	DATE	DESIGNER	CHECKER
25-08-19		A501	

PLUMBING (DWG) NOTES FOR TEEN TO EXISTING SEWER

1. PROVIDE NEW SANITARY DRAINAGE AND VENT PIPING FOR MASTER BATH ADDITION AND CONNECT TO THE EXISTING BUILDING DRAIN. FIELD VERIFY EXISTING BUILDING DRAIN SIZE. MATERIAL, LOCATION, AND INVERT ELEVATION PRIOR TO EXCAVATION; NOTIFY THE DESIGNER OF CONFLICTS BEFORE PROCEEDING.
2. USE PVC SCHEDULE 40 SOLID WALL FOR BELOW-GRADE AND ABOVE-GRADE SANITARY AND VENT PIPING WITH SOLVENT-WELDED JOINTS. USE PURPLE PRIMER AND SOLVENT CEMENT. TRANSITION TO EXISTING PIPING WITH LISTED SHIELDED (BANDIED) COUPLINGS. PROVIDE DIELECTRIC SEPARATION WHERE DISSIMILAR METALS OCCUR.
3. MAINTAIN MINIMUM PIPE SLOPES: 3 IN AND SMALLER AT 1/4 IN PER FOOT; 4 IN AT 1/8 IN PER FOOT; MAINTAIN UNIFORM GRADE TO THE POINT OF CONNECTION.
4. USE LONG-TURN FITTINGS FOR CHANGES IN DIRECTION; USE WYE OR COMBINATION WYE AND 1/8 BEND FOR ALL FIXTURE BRANCH CONNECTIONS TO THE HORIZONTAL DRAIN; DO NOT USE SANITARY TEES ON THEIR BACK IN HORIZONTAL DRAINAGE.
5. MINIMUM BRANCH SIZES: WATER CLOSET 3 IN, SHOWER 2 IN WITH 2 IN TRAP; LAVATORY 1-1/2 IN WITH 1-1/4 IN TRAP; TUB 1-1/2 IN OR PER FIXTURE OUTLET; COMBINE PER CODE LOAD LIMITS WHEN WET-VENTED.
6. PROVIDE A 3 IN MINIMUM BUILDING DRAIN FROM THE POINT OF NEW CONNECTION TO THE EXISTING LINE UNLESS EXISTING IS LARGER; MATCH OR UPSIZE TO EXISTING MAIN AS REQUIRED BY TOTAL DRAINAGE FIXTURE UNITS.
7. VENTING: PROVIDE A VENTED SYSTEM PER CODE. WET-VENT THE BATHROOM GROUP ON THE SAME FLOOR WITH A 2 IN COMMON VENT MINIMUM. SIZE VENTS BASED ON DEVELOPED LENGTH AND TOTAL DFUS. EXTEND AT LEAST ONE 2 IN VENT THROUGH THE ROOF OR CONNECT TO AN APPROVED EXISTING VENT OF ADEQUATE SIZE. TERMINATE 6 IN ABOVE ROOF AND 10 FT FROM OR 3 FT ABOVE OPENINGS.
8. TRAP ARMS AND DISTANCES: MAINTAIN TRAP ARM LENGTHS AND FALL PER CODE. EACH FIXTURE TO HAVE A TRAP SEAL 2 IN TO 4 IN; NO S-TRAPS OR DRUM TRAPS.
9. CLEANOUTS: PROVIDE FULL-SIZE CLEANOUT AT THE BASE OF EACH NEW STACK AT THE BUILDING DRAIN TEEN, AND AT EVERY CHANGE IN HORIZONTAL DIRECTION EXCEEDING 135 DEGREES; SET EXTERIOR CLEANOUTS FLUSH WITH GRADE IN BOXES.
10. TESTING: TEST NEW DWV WITH 10 FT HEAD WATER TEST OR 5 PSI AIR TEST FOR 15 MINUTES WITH NO LOSS BEFORE CONCEALMENT; PROVIDE INSPECTION SIGN-OFF PRIOR TO COVER.
11. SUPPORTS AND PROTECTION: SUPPORT PIPING PER MANUFACTURER AND CODE SPACINGS; SLEEVE AND SEAL WHERE PIPING PENETRATES FOUNDATIONS AND SLABS; PROVIDE CORROSION PROTECTION AT CONCRETE OR MASONRY CONTACT; MAINTAIN FIREBLOCKING AT PENETRATIONS.
12. FIXTURES: INSTALL LOW-FLOW CODE-COMPLIANT FIXTURES. WATER CLOSETS 1.28 GPF MAX; SHOWERHEADS 2.0 GPM MAX; LAV FAUCETS 1.2 GPM MAX; SET ROUGH-INS PER MANUFACTURER TEMPLATES; SET FINISHED RIM HEIGHTS AND CLEARANCES PER PLANS.
13. COORDINATION: VERIFY LOCATIONS AND ELEVATIONS BEFORE ROUGH-IN; COORDINATE WITH STRUCTURAL FOR SLAB THICKENING OR TRENCING; TO RESTORE SLAB, VAPOR RETARDER, TERMITTE TREATMENT, AND FINISHES TO ORIGINAL CONDITION AFTER INSPECTION.
14. SUBMITTALS: PROVIDE CUT SHEETS FOR BACKWATER VALVE, CLEANOUT BOXES, FITTINGS UNUSUAL TO THE WORK, AND ANY TRANSITION COUPLINGS PRIOR TO INSTALLATION.



1 Plumbing Plan
1/4" = 1'-0"

This plan has been electronically signed and sealed by Ed Shinskie, P.E. on 08/19/2019. A digital signature and seal are not considered signed and sealed and the document is not a valid copy. Printed copies of this document are not considered signed and sealed and the signature must be verified on any document copy.

REV	DESCRIPTION	DATE
1	For Permitting	

Ed Shinskie, P.E.
4707 Wild Turkey Rd.
Mims, Florida 32754



Rebecca and John Morrow

2108 Malinda Lane
Titusville, Florida 32754

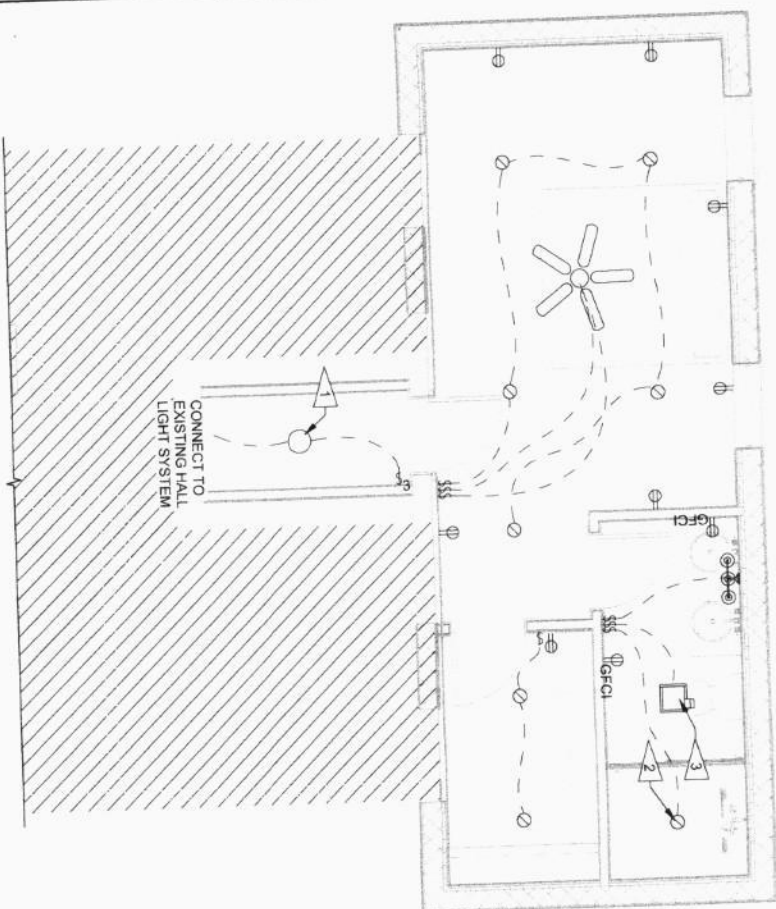
PROJECT		DATE	
PROJECT NO.	25-0819	DATE	
DESIGNER	E. Shinskie	DATE	
CHECKED BY	J. Kelly	DATE	
DATE		DATE	

- ELECTRICAL NOTES:**
- ALL WORK MUST BE DONE IN ACCORDANCE WITH THE LATEST N.E.C. AND APPLICABLE LOCAL CODES. DRAWINGS ARE DIAGRAMATIC AND THE OMISSION OF AN ITEM DOES NOT RELIEVE THE ELECTRICAL CONTRACTOR FROM SUPPLYING SAME. LOCATION AND SIZE OF LOADS ARE TO BE CHECKED WITH THE OWNER OR MECHANICAL CONTRACTOR AND ADJUSTMENTS MADE ACCORDINGLY. DESIGN BASES ON THE COPPER CONDUCTOR VERIFY LOCATION OF ALL TELEPHONE AND TELEVISION OUTLETS WITH OWNER.
 - VERIFY LOCATION OF SERVICE ENTRANCE WITH POWER COMPANY. PROVIDE UFER GROUND IN BUILDING FOUNDATION AT SERVICE ENTRANCE LOCATION.
 - PROVIDE A MIN. OF 20 FEET OF ONE #4 BARE COPPER UFER WIRE EMBEDDED IN CONCRETE FOOTING AT THE SERVICE ENTRANCE LOCATION WHERE APPROVED BY LOCAL SERVICE PROVIDER.
 - PROVIDE A BONDING CONDUCTOR CONSISTING OF A MINIMUM OF ONE #4 BARE COPPER WIRE CONNECTING THE BUILDINGS METAL WATER PIPING SYSTEM TO THE SERVICE EQUIPMENT ENCLOSURE GROUNDING.
 - ALL WORKMANSHIP AND MATERIALS TO CONFORM WITH THE N.E.C.
 - LIGHTING:**
 - THE PRIMARY LIGHTING FOR KITCHENS AND BATHROOMS SHALL HAVE A MIN EFFICIENCY OF 40 LUMENS PER WATT.
 - AN EXTERIOR LIGHT SHALL BE PROVIDED AT EACH EXIT.
 - A SWITCH FOR AN INTERIOR LIGHTS SHALL BE PROVIDED FOR EVERY ENTRANCE.
 - LIGHTING WILL BE PROVIDED FOR MECHANICAL EQUIPMENT LOCATED IN AN ATTIC OR UNDER FLOOR SPACE A LIGHT SWITCH SHALL BE PROVIDED AT THE ACCESS OPENINGS
 - INCANDESCENT LIGHTS FIXTURES LOCATED IN CLOSETS SHALL BE SHIELDED AND MUST MAINTAIN 12" CLEARANCE FROM SHELVES TO INCANDESCENT FIXTURE. RECESSED AND FLUORESCENT FIXTURES LOCATED IN CLOSETS MUST MAINTAIN 6" CLEARANCE FROM SHELVES TO FIXTURE. INCANDESCENT FIXTURES WITH OPEN OR PARTIALLY ENCLOSED LAMPS, PENNANT FIXTURES, AND LAMP HOLDERS ARE NOT PERMITTED IN CLOSETS.
 - ELECTRICAL OUTLETS:**
 - ELECTRICAL OUTLETS IN BATHROOM WITHIN 6 FEET OF SINKS AND OUTDOORS SHALL BE GCFI PROTECTED.
 - ELECTRICAL OUTLETS SHALL BE PLACED NO FURTHER THAN 12" O.C. ON EVERY WALL AND SHALL BE PLACED ON WALL GREATER THAN 2" IN LENGTH. COUNTERTOPS 12" AND WIDER SHALL HAVE ELECTRICAL OUTLETS SPACED NOT GREATER THAN 48" O.C.
 - AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACES WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER.
 - MECHANICAL EQUIPMENT SHALL HAVE AN ELECTRICAL OUTLET LOCATED WITHIN 25".
 - ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLE OUTLETS, SWITCHES, LIGHT FIXTURES, CEILING FANS, AND SMOKE DETECTORS SHALL BE PROTECTED BY AN AFCI-FULL CIRCUIT INTERRUPTER IN ACCORDANCE WITH 2017 NEC 210.12(b).
 - RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS SHALL BE A THREE POLE WITH GROUND TYPE. FOUR WIRE GROUNDING-TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE.
 - PROVIDE 3 OR MORE DEDICATED 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS EVENLY PROPORTIONED IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREA. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
 - PROVIDE (1) 20 AMP CIRCUIT FOR BATHROOM GFIS WITH NO OTHER OUTLETS.
 - AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SERVICE THE LAUNDRY ROOM. THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS. (NEC: 220-30)
 - ALL RECEPTACLES WITHIN 6' OF A WET BAR SINK OR KITCHEN SINK TO SERVE COUNTER TOP SURFACES MUST BE GFCI. ON KITCHEN COUNTERTOPS 12" OR WIDER NO POINT ALONG THE WALL SHALL BE MORE THAN 2' FROM A RECEPTACLE. ALL RECEPTACLES WITHIN 6' OF KITCHEN SINK AND AT ALL KITCHEN COUNTERTOPS MUST BE GFCI. AT LEAST ONE GFCI RECEPTACLE SHALL BE INSTALLED IN THE BATHROOM ADJACENT TO EACH BATH.
 - ELECTRICAL BOXES TO SUPPORT FANS AND LARGE FIXTURES SHALL BE APPROVED FOR SUPPORTING SUCH LOADS.
 - COVERED JUNCTION BOXES SHALL BE PROVIDED UNDER KITCHEN SINKS TO PROVIDE POWER AND DISHWASHERS, GARAGE AND OTHER APPLIANCES AS REQUIRED.
 - PROVIDE WATERPROOF FIXTURES IN ALL HIGH MOISTURE AREAS (EXTERIOR, SHOWER AND TUB CEILINGS ETC.)
 - FIXTURES INCLUDING CEILING FANS THAT ARE LOCATED IN DAMP LOCATIONS SHALL BE LISTED TO BE SUITABLE FOR SUCH LOCATIONS PER NEC 410-4.
 - ALL CEILING FANS TO BE PROVIDED WITH (2) SWITCHES. (1) SWITCH TO CONTROL FAN OPERATION AND (1) SWITCH TO TURN LIGHT ON AND OFF.
 - BOXES FOR CEILING FANS TO BE U.L. LISTED FOR FAN MOUNTING.
 - CEILING FANS NOT EXCEEDING 35 LBS. (WITH OR WITHOUT ACCESSORIES MAY BE SUPPORTED BY OUTLET BOXES PROVIDED THE OUTLET BOXES ARE IDENTIFIED FOR SUCH USE PER NEC 422-18.
 - ELECTRICAL OUTLET BOXES ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF NOT LESS THAN 24"
 - OUTLET BOXES IN THE WALLS BETWEEN THE GARAGE AND DWELLING SHALL BE METAL OR U.L. APPROVED FIRE RESISTIVE PLASTIC. BOXES IN GARAGE CEILING SHALL BE METAL.

<p>20. ELECTRICAL OUTLETS, SWITCHES AND SERVICE LESS THAN 0.5 FEET ABOVE THE BASE FLOOR ELEVATIONS MUST BE PROTECTED BY A GROUND FAULT INTERRUPT CIRCUIT SEPARATE FROM OTHER CIRCUITS IN THE BUILDING.</p> <p>21. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS SHALL BE TAMPER PROOF RECEPTACLE IN ACCORDANCE WITH 2017 NEC 408.11.</p>	
<p>MECHANICAL NOTES:</p> <p>1. CONNECT NEW AIR TERMINALS TO EXISTING SYSTEM.</p> <p>2. THE MECHANICAL CONTRACTOR SHALL PROVIDE A COMPLETE AND OPERATIONAL H.V.A.C. SYSTEM THAT COMPLES WITH THE FLORIDA MECHANICAL CODE, ASHRA, SMACNA, NFPA, THE FLORIDA ENERGY CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.</p> <p>3. HVAC LAYOUT SHOWN IS FOR PLANNING PURPOSES ONLY. THE MECHANICAL CONTRACTOR SHALL SUBMIT A PLAN TO THE BUILDING DEPARTMENT BASED ON HIS SPECIFIC EQUIPMENT AND SHOWING DUCT SIZES, REGISTER SIZES AND CFM AND OTHER DATA AS REQUIRED. HE SHALL ALSO SUBMIT ENERGY CALCULATIONS AS REQUIRED BY THE FLORIDA ENERGY CODE.</p> <p>4. HEAT PUMPS, AIR HANDLERS, SUPPLY DUCTS, CEILING DUCTUSERS, REGISTERS, AND AIR RETURNS TO BE SIZED BY MECHANICAL SUB-CONTRACTOR.</p> <p>5. HEATING TO PROVIDE A MIN. OF +70 DEGREES F AT 3'-0" ABOVE FINISHED FLOOR.</p> <p>6. EXHAUST FANS PROVIDED AT LAUNDRY ROOM, BATHROOMS, AND TOILET ROOMS TO PROVIDE A MIN. FIVE (5) AIR CHANGES PER HOUR FOR THE ROOMS THEY ARE LOCATED.</p> <p>7. DUCT MUST BE A MINIMUM OF 4" IN DIAMETER AND OF SMOOTH INTERIOR SURFACE.</p> <p>8. ALL WORKMANSHIP AND MATERIALS TO CONFORM WITH THE FLORIDA MECHANICAL CODE.</p>	
<p>REVISIONS:</p> <p>1. Ed Shinskie, P.E. 4707 Wild Turkey Rd. Mims, Florida 32754</p>	<p>2. Rebecca and John Morrow 2108 Mallinda Lane Titusville, Florida 32754</p>
<p>PROJECT TITLE: Electrical Notes</p> <p>DATE: 25-08-19</p>	<p>DATE: 18 Oct 25</p> <p>BY: J. Kelly</p> <p>DATE: 18 Oct 25</p> <p>BY: E. Shinskie</p>

Keynotes

- 1 PROVIDE ONE NEW CEILING-MOUNTED LED LUMINAIRE IN THE HALLWAY AND CONVERT THE EXISTING SINGLE-POLE CONTROL TO A 3-WAY SYSTEM BY REPLACING THE EXISTING SWITCH WITH A LISTED 3-WAY SWITCH AND ADDING A SECOND 3-WAY SWITCH AT THE OPPOSITE END OF THE HALL. COORDINATE EXACT LOCATIONS IN THE FIELD. INSTALL NEW NMB THREE-CONDUCTOR CABLE WITH EQUIPMENT GROUNDING CONDUCTOR BETWEEN THE TWO SWITCHES AND AS REQUIRED TO THE LUMINAIRE SIZE CONDUCTORS TO THE CIRCUIT AMPACITY. 14 AWG ON 15 A CIRCUITS OR 12 AWG ON 20 A CIRCUITS. PROVIDE A NEUTRAL IN EACH SWITCH BOX, CAP OR USE AS REQUIRED BY THE DEVICE. IDENTIFY TRAVELER CONDUCTORS. CONSISTENTLY RE-IDENTIFY THE WHITE WHEN USED AS A TRAVELER. MAINTAIN EQUIPMENT GROUNDING CONTINUITY AND BOND ALL METAL BOXES AND DEVICES. PROVIDE AFCI PROTECTION WHERE REQUIRED FOR DWELLING LIGHTING CIRCUITS. MAINTAIN EXISTING CIRCUIT NUMBERING. UPDATE THE PANEL SCHEDULE IF CIRCUITING CHANGES. PATCH AND PAINT FINISHES TO MATCH ADJACENT SURFACES. CODE REFERENCES: NEC 2023 210.70(A)(2)(A), 210.12, 300.3(B), 314.16, 404.2(C), 404.14.
- 2 PROVIDE ONE RECESSED, IC-RATED, AIR-TIGHT LED LUMINAIRE LISTED FOR WET LOCATIONS IN THE SHOWER COMPARTMENT, CENTERED PER PLAN, WITH FACTORY WET-LOCATION TRIM. SEAL THE TRIM TO THE FINISHED CEILING TO MAINTAIN THE AIR AND VAPOR BARRIER. FEED FROM THE EXISTING ELECTRICAL PANEL ON A PROPERLY SIZED BRANCH CIRCUIT. SIZE CONDUCTORS TO CIRCUIT AMPACITY (14 AWG ON 15 A, 12 AWG ON 20 A). ROUTE ALL CONDUCTORS OF THE CIRCUIT TOGETHER AND MAINTAIN EQUIPMENT GROUNDING CONTINUITY WITH BONDING OF METAL BOXES AND DEVICES. LOCATE THE WALL SWITCH OUTSIDE THE TUBSHOWER SPACE. PROVIDE A NEUTRAL IN THE SWITCH BOX. VERIFY CANBOX VOLUME FOR CONDUCTOR FILL. AND IDENTIFY CONDUCTORS PER USE. PROVIDE AFCI PROTECTION FOR THE DWELLING LIGHTING CIRCUIT. PROVIDE AFCI PROTECTION IF REQUIRED BY THE LUMINAIRE MANUFACTURER OR AHP. PATCH FINISHES TO MATCH ADJACENT SURFACES. CODE REFERENCES: NEC 2023 410.10(D), 210.70(A)(1), 210.12, 300.3(B), 314.16, 404.2(C), 110.3(B).
- 3 PROVIDE ONE CEILING EXHAUST FAN WITH INTEGRAL LED LIGHT, LISTED FOR DAMP LOCATIONS, MINIMUM 80 CFM AT 0.1 IN. W.C., MAXIMUM 1.5 SONE FEED FROM EXISTING ELECTRICAL PANEL ON A PROPERLY SIZED BRANCH CIRCUIT. USE NMB CONDUCTORS SIZED TO CIRCUIT AMPACITY (14 AWG ON 15 A, 12 AWG ON 20 A). ROUTE ALL CIRCUIT CONDUCTORS TOGETHER AND MAINTAIN EQUIPMENT GROUNDING CONTINUITY WITH BONDING OF METAL BOXES AND DEVICES. PROVIDE SEPARATE WALL SWITCHES FOR FAN AND LIGHT LOCATED OUTSIDE THE TUBSHOWER SPACE. INSTALL A WALL COUNTDOWN TIMER FOR THE FAN WITH 20-MINUTE POST-USE RUN. PROVIDE A NEUTRAL IN THE SWITCH BOX. VERIFY HOUSING/BOX VOLUME FOR CONDUCTOR FILL. IDENTIFY CONDUCTORS PER USE. DUCT 4 IN. MIN TO EXTERIOR WITH ROOF OR WALL CAP AND INTEGRAL BACKDRAFT DAMPER. DO NOT TERMINATE IN ATTIC OR SOFTT VENTS. SEAL ALL JOINTS WITH UL-181 MASTIC OR TAPE AND INSULATE DUCT IN UNCONDITIONED SPACES PER ENERGY CODE. PROVIDE AFCI PROTECTION FOR THE DWELLING LIGHTING CIRCUIT. PATCH FINISHES TO MATCH ADJACENT SURFACES. (REFS: FBC-R-3303.3, M1501.1; NEC 2023 110.3(B), 210.12, 300.3(B), 314.16, 404.2(C))



1
1/4" = 1'-0"
Electrical Plan
E101

DATE	DESCRIPTION	BY	CHKD
10/25/23	For Permitting	Ed Shinskie	
		P.E. 47515	
		4707 Wild Turkey Rd.	
		Mims, Florida 32754	

Rebecca and John Morrow
 2108 Malinda Lane
 Titusville, Florida 32754

Digital Design
 3770 Highway 1
 Palm Bay, FL 32909
 888-888-8888
 www.digitaldesign.com

TITLE	DATE	ISSUED	REVISION
Electrical Plan	18 Oct 25	J. Kelly	E. Shinskie
	25-0819		

Rebecca & John Morrow
2108 Malinda Lane
Titusville, Florida 32754
407-256-3765
becmorrow@earthlink.net

~~12-23-25~~

Board of Adjustments & Appeals
City of Titusville
555 S. Washington Avenue
Titusville, FL 32796

Re: Variance Application – Request to Encroach 16 Inches into Required Side Setback
Property Address: 2108 Malinda Lane, Titusville, FL 32754

Dear Board Members:

I am the owner of the property located at **2108 Malinda Lane, Titusville, Florida**, zoned **Rural Residential (RR)**. I respectfully request a variance to allow a **16-inch encroachment into the required 15-foot side yard setback**, resulting in a reduced setback of approximately **13 feet 8 inches** on one side of the property.

The strict application of the side setback requirement creates a **practical hardship due to the physical characteristics of the property and the placement of the existing residence**, which limit the usable buildable area. The existing home was constructed close to the side setback, and the configuration of the lot, combined with the existing building footprint, restricts the ability to make modest, code-compliant improvements without minimal encroachment.

The subject property contains approximately **0.54 acres**, which is only **0.04 acres above the minimum lot size required for RR zoning**. While the property technically meets the minimum zoning threshold, it does not possess the excess land area typically associated with Rural Residential parcels that would otherwise allow greater flexibility in meeting setback requirements. This condition further constrains the buildable envelope when compared to other RR-zoned properties.

Additionally, the property is **adjacent to Single-Family Medium Density (R-1B) zoning**, which permits a **10-foot side yard setback**. The requested variance would still maintain a side setback substantially greater than what is required on neighboring R-1B properties and remains compatible with surrounding development patterns. This context demonstrates

that the requested relief is reasonable, modest, and consistent with nearby residential standards.

The proposed work involves a **minor residential addition and interior reconfiguration** intended to improve the functional use of the existing home. The addition is designed to provide a **more functional primary bedroom and bathroom layout**, improving circulation and usability within the residence. The existing configuration limits adaptability and does not readily support flexible use over time. The proposed improvements allow the home to remain **functional and livable as household needs evolve**, without expanding beyond the minimum relief requested.

The requested encroachment is the **minimum necessary** to allow the addition to align with the existing structure without introducing irregular wall offsets, structural inefficiencies, or adverse site impacts. Without this limited variance, reasonable improvement of the residence consistent with its permitted residential use would not be feasible.

This hardship is **not self-created**. The lot size, zoning classification, and placement of the existing residence predate this request and were not caused by any action of the applicant. The variance is not sought for financial gain or personal preference, but solely due to the physical limitations imposed by the property.

The requested variance will **not alter the essential character of the neighborhood**, impair light or air to adjacent properties, create drainage issues, or confer a special privilege. The residence will remain fully compliant with all applicable building, fire, and life-safety codes.

The following materials are submitted in support of this request:

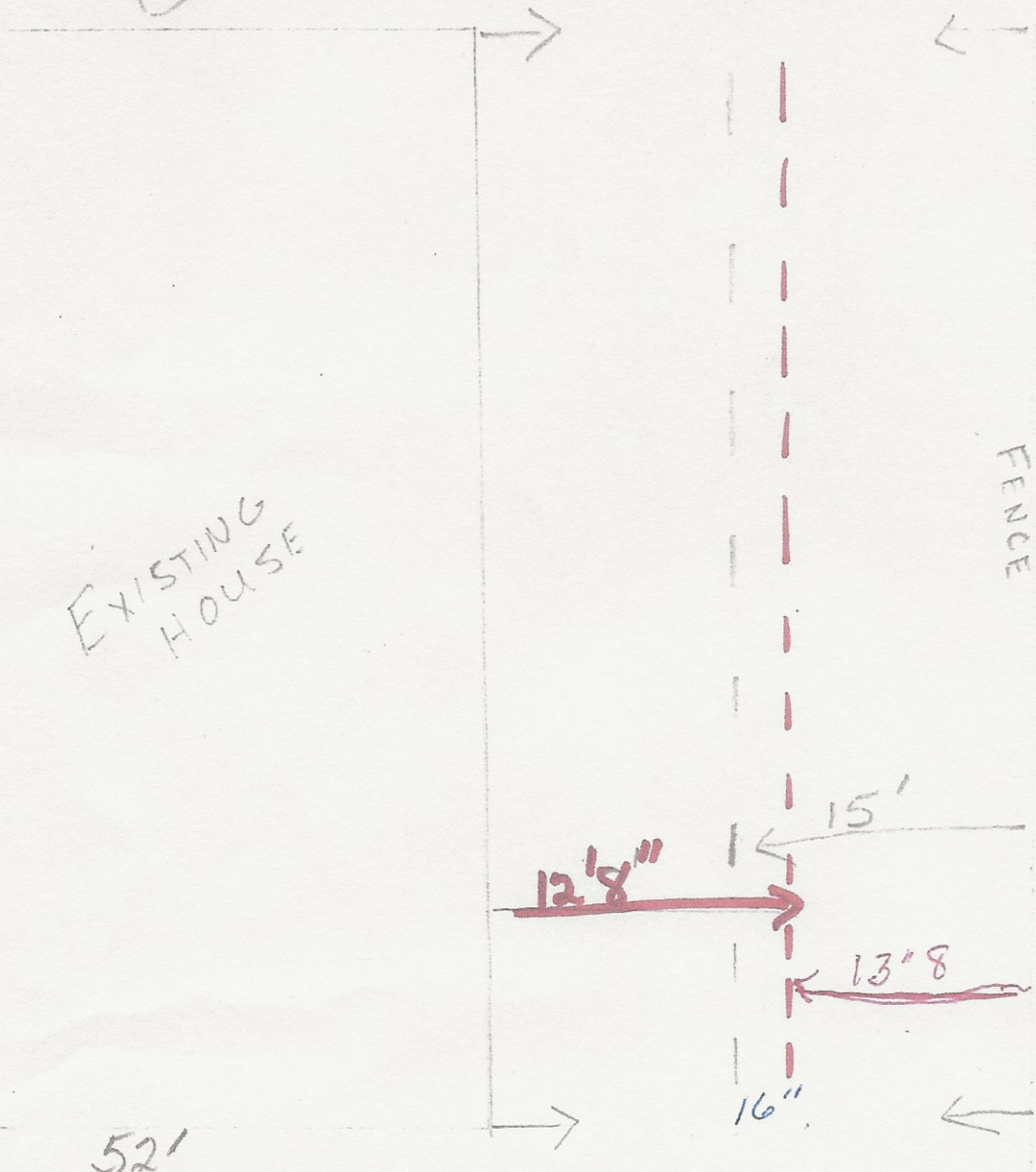
- Boundary and site survey showing existing conditions and proposed encroachment
- Site plan and architectural drawings
- Photographs of existing structure and lot conditions

Thank you for your consideration. I respectfully submit that this request meets the criteria for approval under the City of Titusville Land Development Regulations and request favorable consideration by the Board.

Sincerely,

Rebecca Moscow
John J. Morris

BACK



EXISTING HOUSE

FENCE

52'

FRONT.

2108 MALINDA LANE



2025



HOUSE SIDE

12' 8"

15'

FENCE SIDE



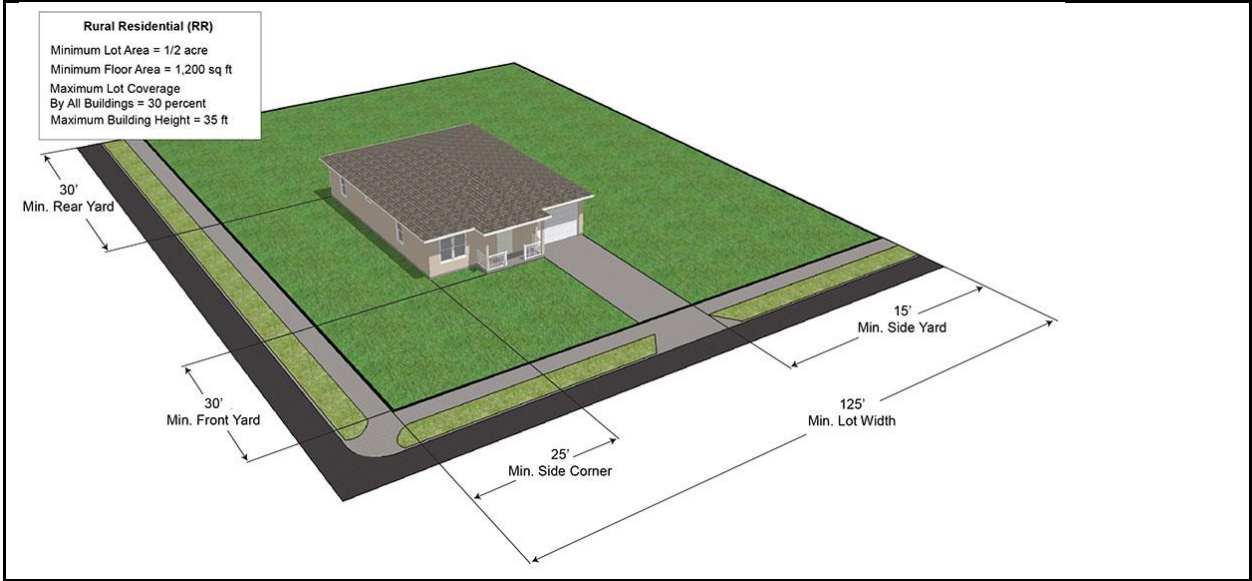
FEBRUARY 2019

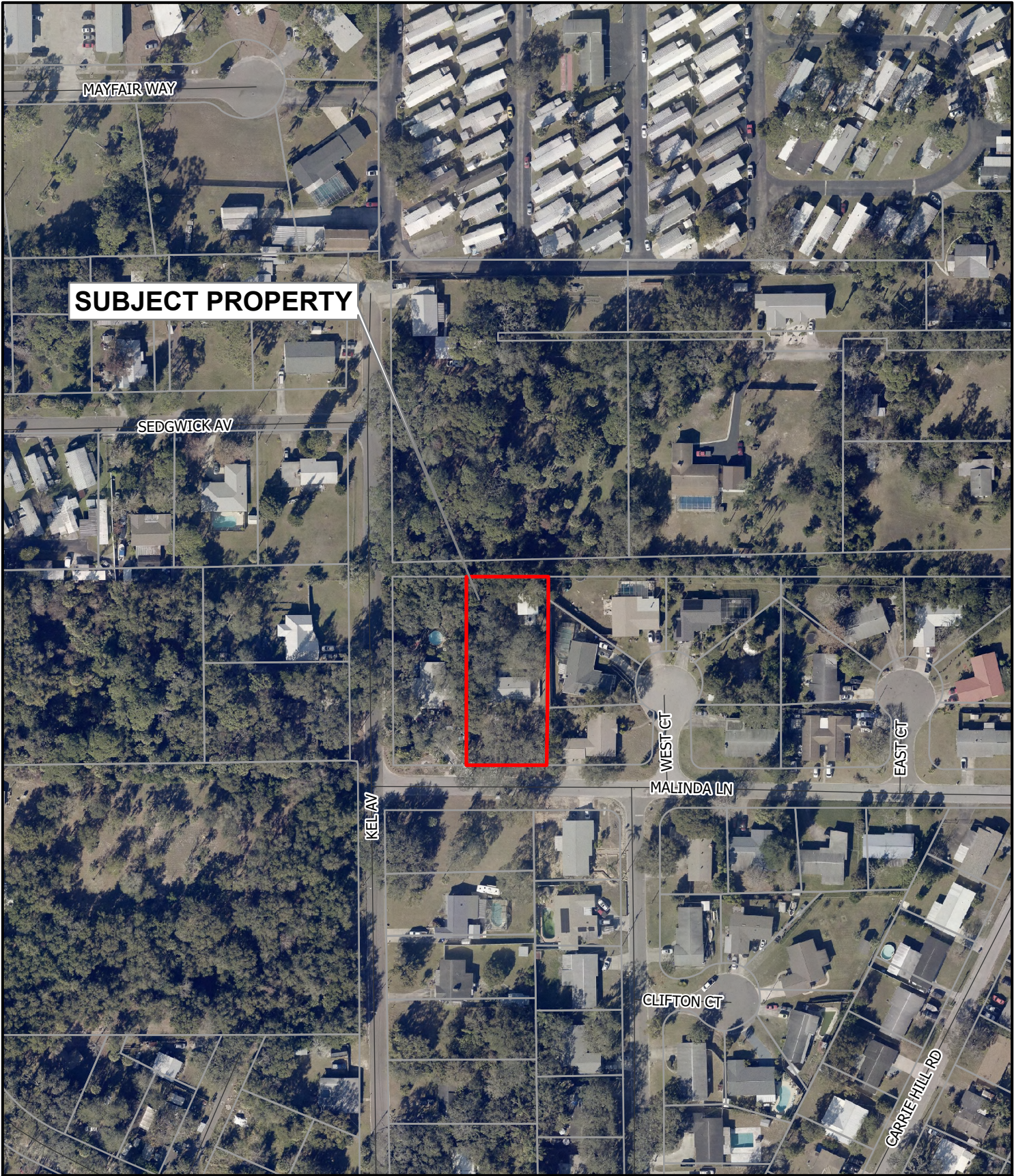
FEBRUARY 2019



Sec. 28-302. Rural Residential (RR).

Rural Residential (RR)		
<i>(a) Purpose</i>		
The Rural Residential district (RR) is intended to provide for low-density large lot development of one-half (0.5) acre or larger in size. Certain structures and uses that will serve governmental, religious, recreational, and other immediate needs of such areas are permissible as permitted or conditional uses subject to all restrictions necessary to preserve and protect the low density character of this district.		
<i>(b) Use Standards</i>	<i>Typical Lot Pattern</i>	
See Chapter 28 Article IV and Article V		
<i>(c) Intensity and Dimensional Standards</i>		
Lot area, minimum (sq. ft.)		21,780
Lot width, minimum (ft.)		125
Density, maximum (du/ac)		2
Floor area per dwelling unit, minimum (sq. ft.)		1,200
Building coverage, maximum (% of lot area)		30
Lot coverage, maximum (% of lot area)		NA
Height, maximum (ft.)		35
Front yard setback, minimum (ft.)		30
Side corner yard setback, minimum (ft.)		25
Interior side yard setback, minimum (ft.)		15
Rear yard setback, minimum (ft.)		30
Accessory Use Development Standards		See Chapter 28 Article VII
NOTES:		
<i>Typical Development Configuration (For illustrative purposes only)</i>		





SUBJECT PROPERTY

MAYFAIR WAY

SEDGWICK AV

KEL AV

WEST CT

EAST CT

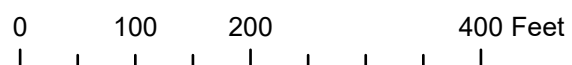
MALINDA LN

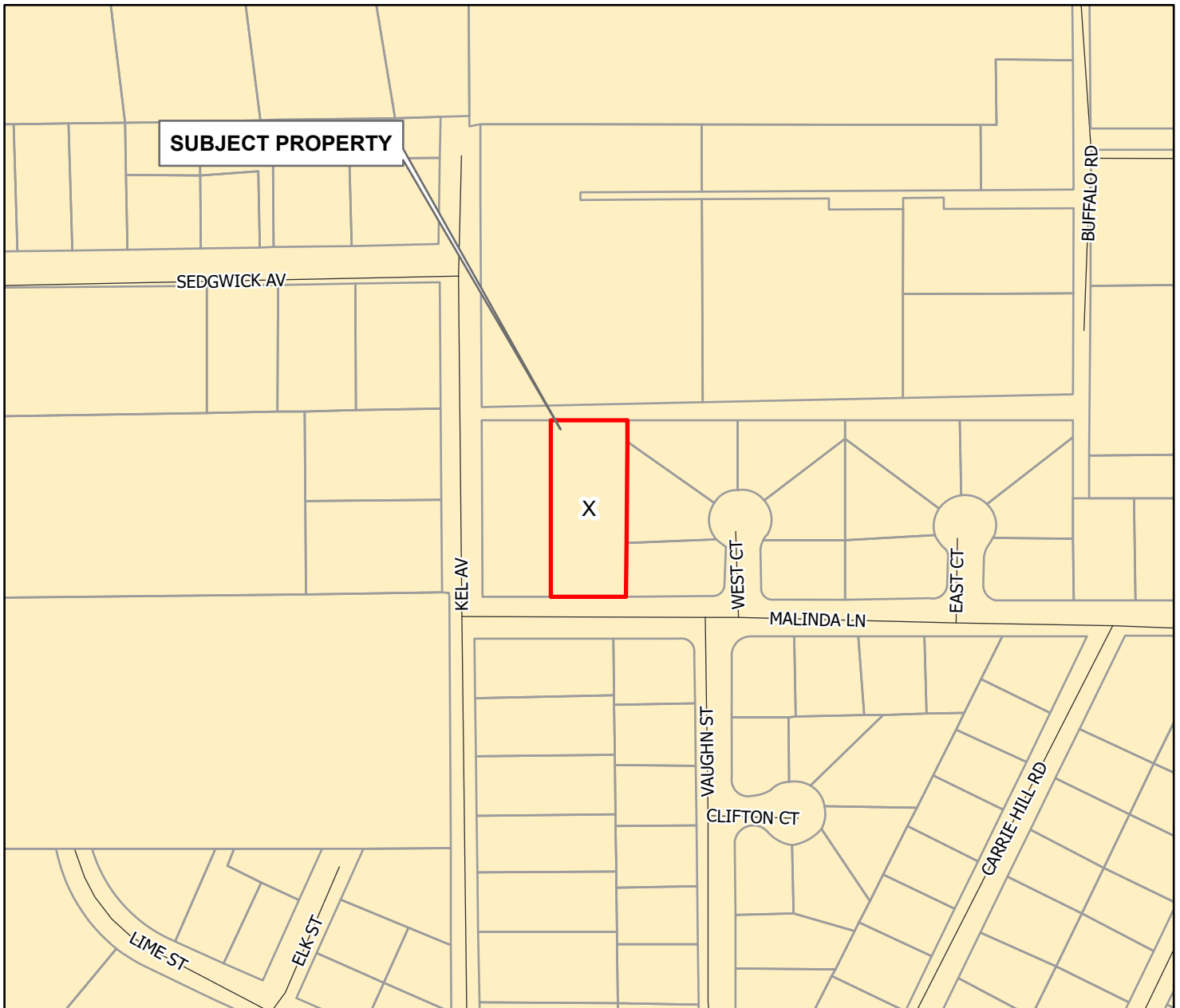
CLIFTON CT

CARRIE HILL RD



Aerial 2025 VAR #2-2026





FEMA FLOOD HAZARD AREAS VAR #2-2026

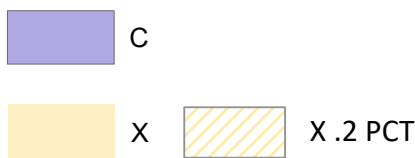
Special Flood Hazard Area Zones



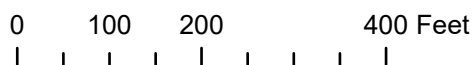
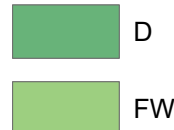
Moderate Flood Hazard Area Zone

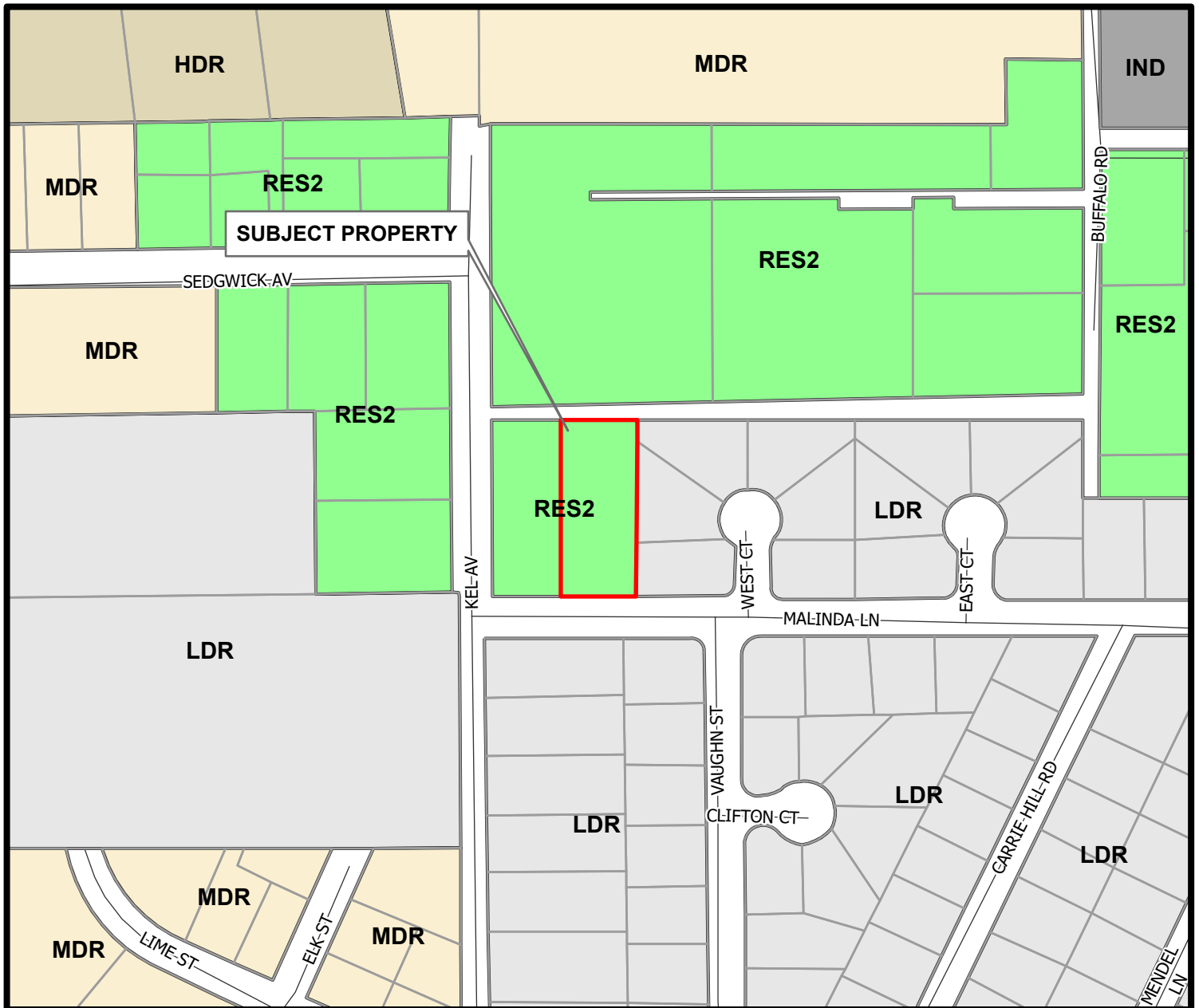


Minimal Flood Hazard Zones



Other Flood Zone Areas

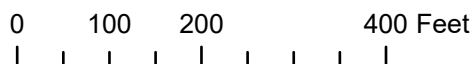
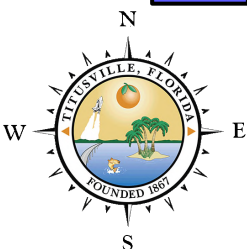


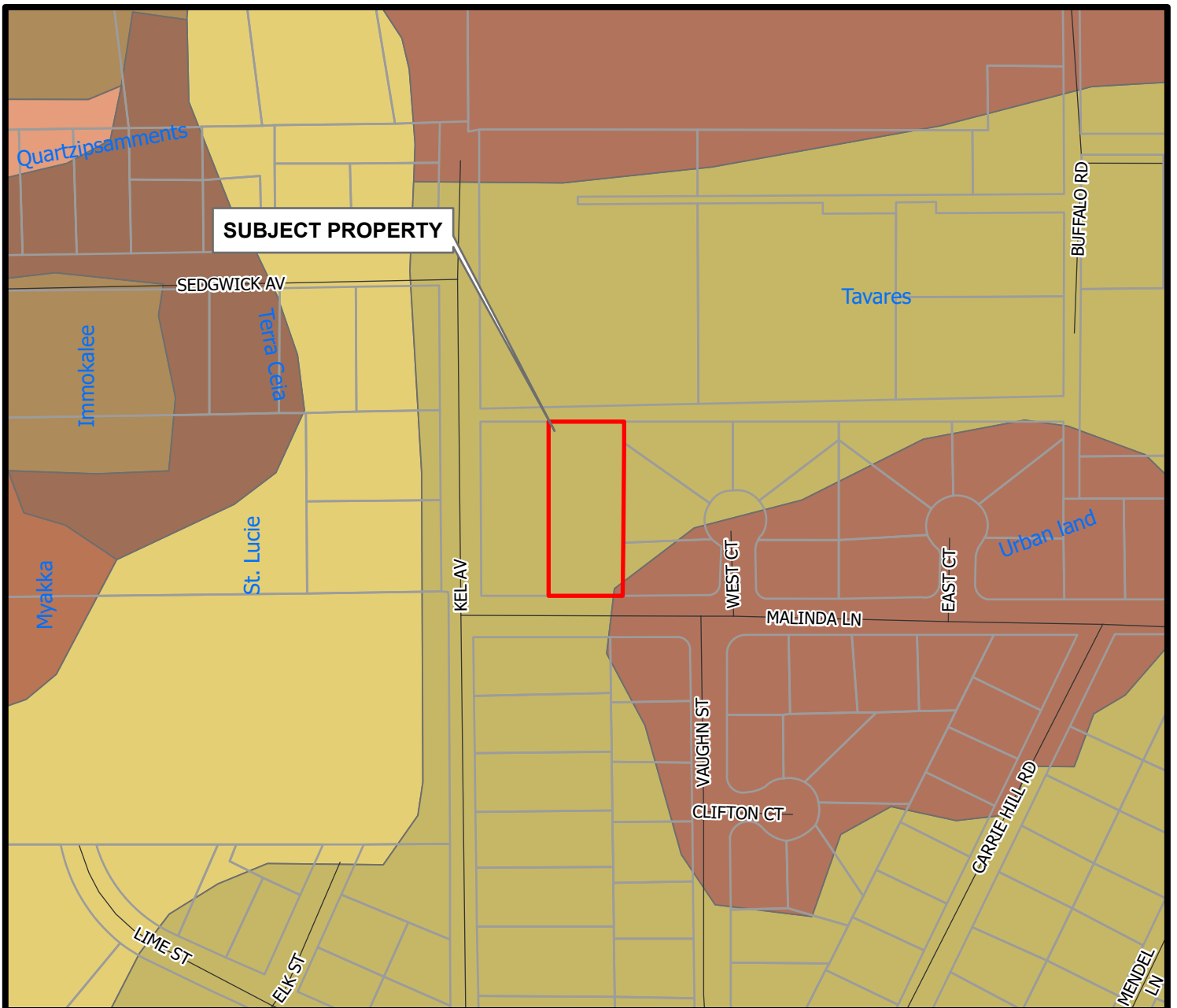


LOCATION OF PROPERTY AND FUTURE LAND USE MAP

CHI COMMERCIAL HIGH INTENSITY	ED EDUCATIONAL	PIP PLANNED INDUSTRIAL PARK	RES-2 RESIDENTIAL-2
CLI COMMERCIAL LOW INTENSITY	IND INDUSTRIAL	PSP PUBLIC/ SEMI-PUBLIC	RMU REGIONAL MIXED USE
CONS CONSERVATION	HDR HIGH-DENSITY RESIDENTIAL	PUD PLANNED UNIT DEVELOPMENT	SMU SHORELINE MIXED-USE
DMU DOWNTOWN MIXED-USE	MDR MEDIUM-DENSITY RESIDENTIAL	REC RECREATIONAL	UMU URBAN MIXED-USE
	LDR LOW-DENSITY RESIDENTIAL	RES-1 RESIDENTIAL-1	US1 US-1 CORRIDOR

Subject

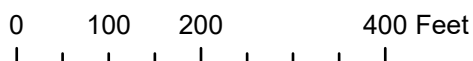




SUBJECT PROPERTY

SOILS IN THE VICINITY OF SUBJECT PROPERTY VAR #2-2026

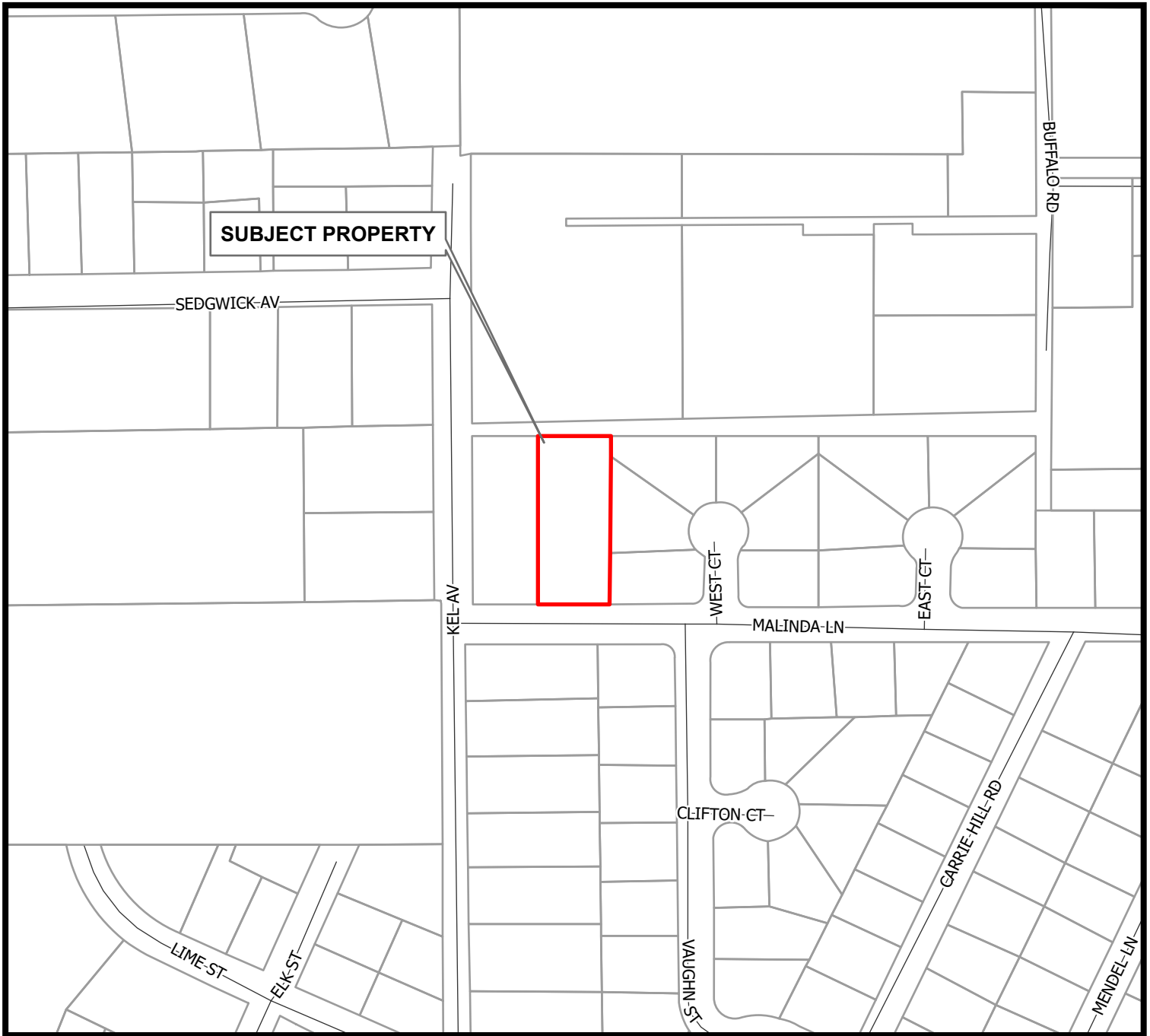
- Immokalee
- Myakka
- Quartzipsamments
- St. Lucie
- Tavares
- Terra Ceia
- Urban land



Community Development Department

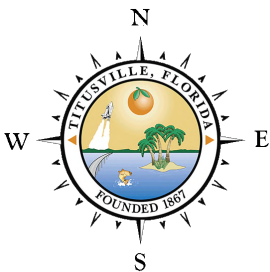
Soils data source: The U.S. Department of Agriculture, Natural Resources Conservation Service. (2024)

1/6/2026



WETLANDS IN VICINITY OF PROPERTY

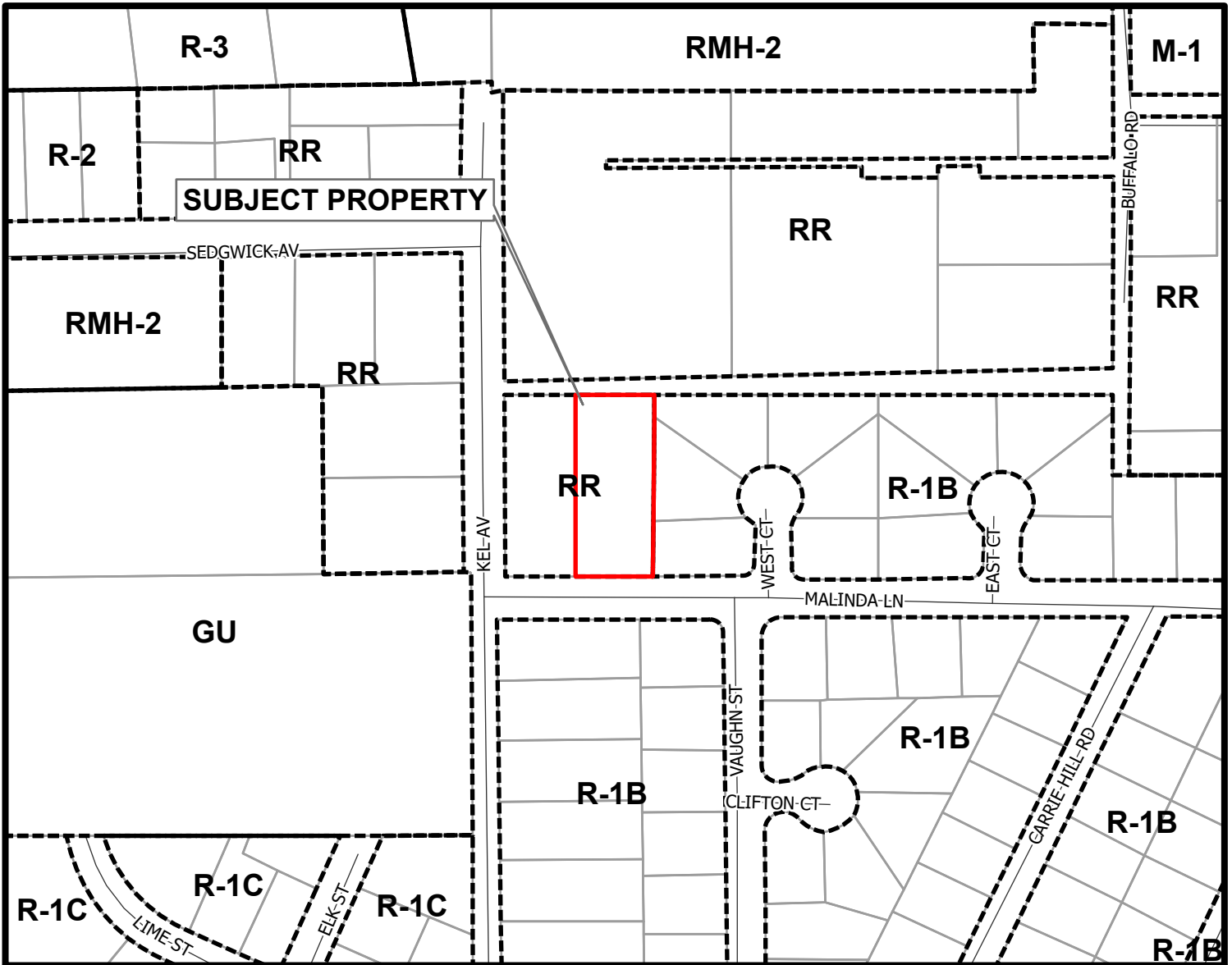
VAR #2-2026



1/6/2026

Scale:1:2,500

Community Development Department
Source: USFWS NWI (2023)



ZONING MAP

RESIDENTIAL DISTRICTS

- RE RESIDENTIAL ESTATES
- RR RURAL RESIDENTIAL
- R-1A SINGLE FAMILY, LOW DENSITY
- R-1B SINGLE FAMILY, MEDIUM DENSITY
- R-1C SINGLE FAMILY, HIGH DENSITY
- R-2 MULTIFAMILY, MEDIUM DENSITY
- R-3 MULTIFAMILY, HIGH DENSITY
- RMH-1 RESIDENTIAL MANUFACTURED HOUSING SUBDIVISION
- RMH-2 RESIDENTIAL MANUFACTURED HOUSING PARK

COMMERCIAL DISTRICTS

- HM HOSPITAL MEDICAL
- T TOURIST
- NC NEIGHBORHOOD COMMERCIAL
- CC COMMUNITY COMMERCIAL
- RC REGIONAL COMMERCIAL
- OP OFFICE PROFESSIONAL

SPECIAL DISTRICTS

- GU GENERAL USE
- OR OPEN SPACE AND RECREATION
- UMU URBAN MIXED USE
- SMU SHORELINE MIXED USE
- RHP RESIDENTIAL HISTORIC PRESERVATION
- RMU REGIONAL MIXED USE
- PD PLANNED DEVELOPMENT
- P PUBLIC
- UV URBAN VILLAGE
- DMU DOWNTOWN MIXED USE
- IRC-N INDIAN RIVER CITY
- IRC-N-R NEIGHBORHOOD RESIDENTIAL
- IRC-N-C INDIAN RIVER CITY NEIGHBORHOOD COMMERCIAL

INDUSTRIAL DISTRICTS

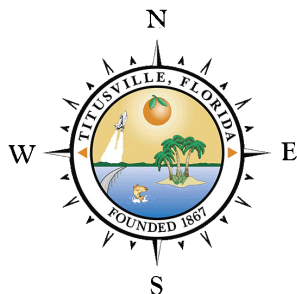
- M-1 LIGHT INDUSTRIAL SERVICES AND WAREHOUSING
- M-2 HEAVY INDUSTRIAL
- M-3 HIGHWAY INDUSTRIAL INFILL
- PID PLANNED INDUSTRIAL DEVELOPMENT

OVERLAY DISTRICTS

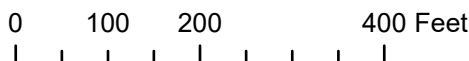
- TSA TITUSVILLE SHORELINE AREA
- AIA AIRPORT IMPACT AREA
- WCA WETLAND AND CONSERVATION AREA
- ACC AREA OF CRITICAL CONCERN
- HPA HISTORIC PRESERVATION AREA

Base Map

- City Limits
- Zoning
- Subject



VAR #2-2026



City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustment and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Appeal No. 1-2026, 300 Cheney Hwy**
Department/Office: Planning

Recommended Action:

Consider the requested appeal from the administrator's determination that driveways must be removed pursuant to Section 9.11.1.3.4 of the Technical Manual for Site Development application No. PSP25-0087 for property located at 300 Cheney Hwy.

Summary Explanation & Background:

The applicant is appealing the administrator's determination that driveways must be removed pursuant to Section 9.11.1.3.4 of the Technical Manual for Site Development application No. PSP25-0087 for property located in the Community Commercial (CC) zoning district, located at 300 Cheney Hwy, Titusville, FL, 32780 owned by HEC Land Holdings, LLC. The appeal was filed by Rodney Honeycutt, Appellant.

Alternatives:

1. Approve the Administrator's Determination
2. Modify the Administrator's Determination
3. Reverse the Administrator's Determination

Item Budgeted:

N/A

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Staff Report

2. Application
3. Supplemental Material from Applicant
4. Code



City of Titusville Community Development Department

BOARD OF ADJUSTMENTS AND APPEALS

Appeal No. 1-2026

Meeting Date: January 28, 2026

Prepared By: Brad Parrish, Community Development Director

Applicant/Owner: Rodney Honeycutt, Appellant

BACKGROUND INFORMATION

Location: 300 Cheney Hwy, Titusville, FL. Tax No. 2213139. Parcel I.D. 22-35-22-76-61-8

Zoning: Community Commercial (CC)

Administrative Interpretation:

Physical curb cuts or driveway openings along a property's frontage constitute points of access under the Land Development Regulations, regardless of whether they are connected to the internal circulation system, to ensure consistent application of the City's access management standards.

Background

On December 30, 2025, the appellant submitted an appeal of the Community Development Department administrator's determination related to Planning Comment #1 for Site Development Permit No. PSP25-0087. Pursuant to Chapter 34, Article V, Division 2 of the Land Development Regulations, the notice of appeal must be filed within thirty (30) days of the date the decision was rendered. The completed appeal application was received within the required timeframe.

The subject property is located at 300 Cheney Highway and is associated with a site plan submittal reviewed by the City of Titusville. The appeal pertains to the interpretation and application of the City's Transportation Infrastructure standards regarding the maximum number of driveway connections and points of access along Cheney Highway, as reflected on Sheet D-1 of the site plan.

ANALYSIS

According to the appellant, the curb cuts along Cheney Highway do not constitute "points of access" as defined by the Land Development Regulations and, therefore, should not be counted toward the maximum number of allowable access points for the subject property. The appellant contends that the Planning Comment requiring the removal of driveway connections is not consistent with the City's Transportation Infrastructure standards or the code definitions of access and driveway.

Section 9.11.1.3.4 of the City of Titusville Transportation Infrastructure standards limits the number of vehicular access points permitted along a property’s frontage. The code states that *“the number of points of access per lot shall be no more than two (2). On corner lots, there shall be one access allowed per frontage for a total maximum of two (2).”* This standard is intended to promote public safety and reduce potential vehicular conflict points along public roadways.

The Land Development Regulations define “Access” as *“the principal means of ingress and egress to a parcel from a public right-of-way, private roadway/right-of-way, or common parking area”* (Sec. 37-1, Definitions). A “Driveway” is defined as *“a private vehicular access...used to provide access for vehicles to a parking space, garage, carport, dwelling or structure”* (Sec. 37-1, Definitions). These definitions establish that vehicular openings constructed between a public right-of-way and a development site are subject to regulation under the City’s access management standards.

The City’s interpretation of Section 9.11.1.3.4 is that the limitation on the number of access points applies to the number of physical vehicular openings along a property’s frontage, regardless of whether each opening is proposed to be utilized as part of the internal circulation system. This interpretation is grounded in the purpose of the access management standards, which is to minimize vehicular conflict points and preserve the safety and operational efficiency of public roadways.

The site plan for the subject property, as reflected on Sheet D-1, depicts three (3) curb cuts along the Cheney Highway frontage that are constructed and dimensioned as vehicular openings from the public right-of-way. These curb cuts are designed in a manner consistent with driveway connections and represent physical points of potential ingress and egress between the roadway and the parcel.

Under the City’s general interpretation of the Land Development Regulations, curb cuts or driveway openings that are constructed or maintained along a property’s frontage constitute access points for the purposes of access management, even when the proposed development does not connect them to the internal circulation system. This approach ensures consistent application of the code and prevents the establishment or retention of unnecessary vehicular openings that may create future conflict points.

Accordingly, the City applies the maximum access point limitation based on the existence of physical vehicular openings along the frontage, rather than their proposed use in a particular site design. This interpretation supports the overarching goals of the Transportation Infrastructure standards to promote roadway safety, manage access consistently across developments, and avoid incremental increases in potential conflict points over time.

RECOMMENDATION

Concur with the administrative interpretation and deny the appeal.

BOARD OF ADJUSTMENTS & APPEALS ACTION

BAA Action: _____ Approved Denied

(date)

To be completed by City Clerk:

Case No. _____

Date: _____

Fee Paid: _____

Signed: _____

**CITY OF TITUSVILLE , FLORIDA
APPLICATION FOR APPEAL
(Chapter 34, Article V, Division 2, Land Development Regulations)**

Notice of Appeal

(Must be filed within (30) days of date decision rendered.)

The Board of Adjustments & Appeals
City of Titusville
Titusville, Florida

Gentleman: The undersigned hereby appeals a decision of an administrative official of the City of Titusville, based on:

Code of Ordinance Volume I

Building Code

Code of Ordinance Volume II / Land Development Regulations

Life Safety Code

Other: _____

Order and/or Ruling appealed: Administrator email response to request for appeal to Planning

Comment #1 for City Case #: PSP 25-0087 - Parcel #: 2213139

Date of Ruling: 12/5/25

Grounds for appeal: Comment not per code

Legal description of property: See attached.

Affected Property Owner

David Hendrix

Name (print or type)

300 Cheney Hwy

Street Address

Titusville, FL 32780

City and State

Appellant

Rodney Honeycutt

Name (print or type)

3700 S. Washington Ave.

Street Address

Titusville, FL 32780

City and State

INSTRUCTIONS TO APPLICANT

1. Use one application for each request
2. Email completed application in to planning@titusville.com
3. Filing fee of \$650, due at time of filing (Should board sustain the appeal, fee will be refunded).

Lots 8, 9, 10 and 11, Block 61, EXCEPT ROAD RIGHT OF WAY, Revised Plat of Part of Indian River City, according to the map or plat thereof as recorded in Plat Book 4, Page 103, Public Records of Brevard County, Florida.

TOGETHER WITH:

A PORTION OF HIBISCUS AVENUE LYING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 35 EAST, AND BEING A PORTION OF REVISED PLAT OF PART OF INDIAN RIVER CITY, FLORIDA, AS RECORDED IN PLAT BOOK 3, PAGE 103, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEASTERLY CORNER OF LOT 8, BLOCK 61, REVISED PLAT OF PART OF INDIAN RIVER CITY, FLORIDA, AS RECORDED IN PLAT BOOK 3, PAGE 103, OF THE SAID PUBLIC RECORDS, THENCE N 80° 16' 53" E ALONG THE EASTERLY EXTENSION OF THE SAID LOT 8, BLOCK 61, A DISTANCE OF 50 00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILROAD, THENCE S 09° 35' 04" E ALONG THE SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 207.55 FEET TO THE NORTH RIGHT OF WAY LINE OF CHENEY HIGHWAY (ALSO KNOWN AS ORLANDO ROAD) AS IT IS PRESENTLY LOCATED, THENCE N 89° 41' 11" W, ALONG THE SAID NORTH RIGHT-OF-WAY, A DISTANCE OF 50.76 FEET TO THE EASTERLY LINE OF BLOCK 61 AND THE SOUTHEASTERLY CORNER OF LOT 11, BLOCK 61 OF THE SAID REVISED PLAT OF PART OF INDIAN RIVER CITY AS IT IS PRESENTLY LCOATED, THENCE N 09° 35' 04" W ALONG THE EASTERLY LINE OF THE SAID BLOCK 61, A DISTANCE OF 198.71 FEET TO THE POINT OF BEGINNING.

Parcel Identification Number: 22-35-22-76-61-8

Rodney Honeycutt, P.E.

From: Lamothe, Mandy C. <Mandy.Lamothe@Titusville.com>
Sent: Friday, December 5, 2025 11:27 AM
To: Rodney Honeycutt, P.E.
Subject: RE: Case #: PSP25-0087 - Parcel #: 2213139

Rodney,
Brad forwarded me your email below to look into. I've spoken with Mark and Brad and confirmed that the comment regarding the driveway connections is a valid comment and will remain.

Please let me know if you have any questions.

Thank you.

Mandy Lamothe
Deputy Community Development Director
555 South Washington Avenue
City of Titusville, Florida 32781-2806
Office (321) 567-3757 - www.titusville.com



Community Development
Development Services

From: Rodney Honeycutt, P.E. [<mailto:rodney@honeycutt.cc>]
Sent: Monday, December 1, 2025 10:46 AM
To: Brad Parrish (brad.parrish@titusville.com) <brad.parrish@titusville.com>
Subject: Case #: PSP25-0087 - Parcel #: 2213139

Brad,

We received a comment which is highlighted in yellow on the RESPONSE TO COMMENT attachment on the subject project.

We don't believe this to be a valid comment based on the code. The code reference and definitions are also included in the RESPONSE TO COMMENT attachment.

The project site plan is also attached.

Please review and call me to discuss if needed.

I will need an explanation if you don't agree with me.

Thanks
Rodney



Honeycutt & Associates, Inc.

ENGINEERS • PLANNERS
email : mail@honeycutt.cc

3700 S. Washington Avenue, Titusville FL 32780
Phone : 321-267-6233

Fax : 321-269-7847

December 30, 2025

Mr. Thomas Abbate, City Manager
City of Titusville
555 S Washington Avenue
Titusville, FL 32780

Subject: Case # - PSP25-0087 Parcel # - 2213139

Mr. Abbate:

We are appealing a decision made by the Community Development Department administrator on the subject project. The appeal is being sent to you as that is my understanding of the code.

A comment was made that 2 of 3 curb cuts along Cheney Highway that fronts the subject project must be removed. Our contention is that curb cuts that are not used as access to the property do not meet the code for points of access (see attached site plan). The details of the appeal follows.

The comment was received in response to a site plan submittal on the subject project (see attached Exhibit #1.):

1. On Sheet D-3 Site Plan there are three (3) driveway connections along Cheney Hwy.

The number of points of access per lot shall be no more than two (2). On corner lots, there shall be one access allowed per frontage for a total maximum of two (2). [City of Titusville (CoT) Technical Manual (TM) Transportation Infrastructure Section 9.11.1.3.4]

Reduce the number of driveway connections along Cheney Hwy by removing the existing driveway connections to meet the standards.

The comment is not per the code. The code does state the following in the Transportation Infrastructure Technical Manual Section 9.11.1.3.4: 9.11.1.3.4.(see attached Exhibit #2):

The number of points of access per lot shall be no more than two (2). On corner lots, there shall be one access allowed per frontage for a total maximum of two (2).

However, the definition of access in the code is as follows (see attached Exhibit #3):

Access: The principal means of ingress and egress to a parcel from a public right-of-way, private roadway/right-of-way, or common parking area.

These curb cuts in Cheney Highway do not provide ingress and egress to the parcel.

The project surveyor labeled the curb cuts on Cheney Highway as concrete driveway. If that is why the comment was made, then the project surveyor is not local to Titusville; they are located in Cocoa Beach and are not familiar with the definitions in the Titusville code. The curb cuts are not driveways per City Code for this project; the code definition of driveways is (see attached Exhibit #4):

Driveway: A private vehicular access, stabilized to prevent soil erosion, which is used to provide access for vehicles to a parking space, garage, carport, dwelling or structure. That portion of the vehicle accommodation area that consists of a travel lane bounded on either side by an area that is not part of the vehicle accommodation area.

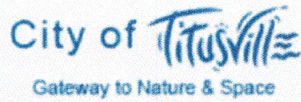
Again, the curb cuts do not provide access for vehicles to the parking lot.

We would like to meet with you to discuss this matter at your earliest convenience.

Thank you,



Rodney M Honeycutt, PE



555 SOUTH WASHINGTON AVENUE
TITUSVILLE, FLORIDA 32796-3584
POST OFFICE BOX 2806 (32781-2806)



(321) 587-3757
Fax (321) 383-8700
www.titusville.com

November 11, 2025

HONEYCUTT & ASSOCIATES, INC
3700 S WASHINGTON AVE
TITUSVILLE, FL 32780

RE: Case #: PSP25-0087 - Parcel #: 2213139

Dear HONEYCUTT & ASSOCIATES, INC:

The City of Titusville has reviewed the site plan for the project referenced above and offers the following comments:

Engineering – no comments

Fire – no comments

Planning

1. On Sheet D-3 Site Plan there are three (3) driveway connections along Cheney Hwy.

The number of points of access per lot shall be no more than two (2). On corner lots, there shall be one access allowed per frontage for a total maximum of two (2). [City of Titusville (CoT) Technical Manual (TM) Transportation Infrastructure Section 9.11.1.3.4]

Reduce the number of driveway connections along Cheney Hwy by removing the existing driveway connections to meet the standards.

Water Resources - Utility Engineering

1. All reclaimed water service lines shall be constructed of Pantone Purple 522C polyethylene (PE) pipe conforming to the requirements of AWWA Standard C901, utilizing copper tube sizes (CTS) and compression adapters. See COT Exhibit R3.

2. The two oak trees on the south side of the property need to be 12 feet away (per Code 30-372) from sidewalks in the ROW, publicly owned storm water systems, and sewer/water infrastructures.

9.11. - DRIVEWAY CONNECTION REQUIREMENTS.

9.11.1.1.

No driveway connection shall be allowed within forty (40) feet of the intersection of right-of-way lines of any public or private street. In developments or zoning districts where allowable lot widths are less than fifty (50) feet, this requirement may be waived by the Administrator as warranted.

9.11.1.2.

No driveway connection at its widest point (including the apron) shall be closer than two (2) feet to the property line extended to the pavement, unless part of a flag lot.

9.11.1.3.

In order to promote the safety of motorists and pedestrians and to minimize traffic congestion and conflict by reducing the magnitude of and the points of contact, the following regulations shall apply;

9.11.1.3.1.

For residential uses, a driveway or other opening for vehicles onto a public or private street, shall not exceed twenty-four (24) feet in width at the property line, except as otherwise provided in this section.

9.11.1.3.2.

For commercial or industrial uses, driveways or access points for vehicles onto a public or private street, shall not exceed thirty (30) feet in width at the property line; however, greater width may be permitted by the Administrator based upon an acceptable traffic engineering analysis.

9.11.1.3.3.

The maximum number of points of access permitted onto any one street shall be as follows:

Table 9.11.1.3.3 - Maximum Number of Access Points	
Lot Width Abutting Street	Number of Access Points
Arterial Street (Per Table 9.4.2 of Transportation Technical Manual)	
Less than two hundred (200) feet	One (1)
Two hundred (200) feet and over	Two (2) Maximum
Collector Street (Per Table 9.4.3 of Transportation Technical Manual)	
Less than one hundred twenty (120) feet	One (1)
One hundred twenty (120) feet and over	Two (2) Maximum
Other Streets	
Less than sixty-five (65) feet	One (1)
Sixty-five (65) feet and over	Two (2) Maximum

9.11.1.3.4.

The number of points of access per lot shall be no more than two (2). On corner lots, there shall be one access allowed per frontage for a total maximum of two (2).

Sec. 37-1. - Definitions.

Unless otherwise specifically provided, or unless clearly defined within the context of these regulations, the following definitions shall apply to the words and phrases in the Land Development Regulations:

A-weighted sound level: The sound pressure level in decibels as measured on a sound level meter using the A-weighting network, designated dbA.

Abandoned well: A well which does not have a properly functioning valve; the use of which has been permanently discontinued; that does not meet current well construction standards; that is discharging water containing greater than five hundred (500) milligrams per liter of chlorides into a drinking water aquifer; that is in such a state of disrepair that it cannot be used for its intended purpose without having an adverse impact upon an aquifer which serves as a source of drinking water or which is likely to be such a source in the future; or that does not have proper flow control on or below the land surface.

Access: The principal means of ingress and egress to a parcel from a public right-of-way, private roadway/right-of-way, or common parking area.

Accessory building/accessory structure: A subordinate detached building or structure, the use of which is incidental to that of the principal building on the same lot or parcel.

Accessory use: A use on the same lot with and of a nature customarily incidental and subordinate to, the principle use of a structure.

Accessway: See Street.

Accident potential hazard area (airport clear zone): An area within five thousand (5,000) feet of a runway or in a defined proximity to an airport in which aircraft may maneuver after takeoff or before landing, which is subject to the greatest crash potential.

Accommodations: Any hotel, motel, tourist court rooming house, rental or time share unit intended to be used for transient persons or tourists.

Adjacent: That which lies near or close to and may be separated by adjoining streets, easements, pipelines, power lines, conduits, railroads or rights-of-way under ownership of the applicant or a governmental agency, subdivision, public or private utility. The adjacent parcel in question shall be located no more than one hundred (100) feet and be easily accessible.

Adjoining: That which is joined, united, or actually touching.

Administrator: The City Manager or their designee.

Adult congregate living facility (ACLF): An establishment, institution, building or buildings, residence, private home, boarding house, home for the elderly, or other place, whether operated for profit or not, which through its operation provides one (1) or more personal services for four (4) or more persons not related by blood or marriage to the owner or operator, for a period exceeding twenty-four (24) hours. Personal services are in addition to housing and food service and include, but are not limited to: Personal assistance with bathing, dressing, housekeeping, supervision, eating, supervision of self-administered medication, and assistance in securing health care from appropriate sources.

Agency or Community Redevelopment Agency: A public agency created by Section 163.356 or Section 163.357, Florida Statutes.

Agricultural lands: A tract or parcel of land in agricultural use that has been or is eligible for an agricultural tax exemption.

Drive-in establishments: Includes drive-in restaurants, or any retail sales or services facilities in which persons received goods, or services in the automobile for consumption or use outside the confines of the principal building, or in vehicles parked upon the premises.

Drive-through: An establishment that by design, physical facilities, service, or by packaging procedures encourages or permits customers to receive services, or obtain goods while remaining in their motor vehicles.

Driveway: A private vehicular access, stabilized to prevent soil erosion, which is used to provide access for vehicles to a parking space, garage, carport, dwelling or structure. That portion of the vehicle accommodation area that consists of a travel lane bounded on either side by an area that is not part of the vehicle accommodation area.

Dry cleaner: An establishment that cleans or renovates fabrics, textiles, or other material on the premises with solvents other than water.

Dry-cleaning plants: A building, portion of a building, or premises used or intended to be used for cleaning fabrics, textiles, wearing apparel, or articles of any sort by immersion and agitation, or by immersions only, in volatile solvents including, solvents of the petroleum distillate type, and/or the chlorinated hydrocarbon type, and the processes incidental thereto.

Dwelling: A house, apartment, or building, used primarily for human habitation.

Easement: A grant of land reserved for public utilities, drainage, or other public facilities or services, the title to which shall remain in the name of the property owners, subject to the right of use designated in the reservation of servitude.

Eaves: The extension or overhang of a roof, measured from the outer face of the supporting wall or column to the farthest point of the overhanging structure.

Economic Opportunity district: A type of conditional use intended to address the transitional need of a new or expanding business within the City. The Economic Opportunity district will permit the temporary use of large, vacant buildings while permanent facilities are being constructed or remodeled to meet the needs of an economic development project.

Educational facility: For purposes of the airport zoning ordinance, a building, equipment, structure, or special educational use area built, installed, or established to serve primarily for educational purposes and which is lawfully authorized by the Brevard County School District Board, a community college board of trustees, a university board of trustees or the Board of Trustees for the Florida School for the Deaf and the Blind as defined in Chapter 1013, Florida Statutes. No other use shall be deemed an educational facility for purposes of the airport zoning ordinance.

Electronic gaming establishment: A business operation, whether a principal use or accessory use, where persons utilize electronic machines or devices, including, but not limited to, computers and gaming terminals, to conduct games of chance and/or a game promotion pursuant to Section 849.094, Florida Statutes, including sweepstakes, and where cash, prizes, merchandise or other items of value are redeemed or otherwise distributed, whether or not the value of such redeemed or distributed items are determined by the electronic games played or by predetermined odds. This term includes, but is not limited to, internet cafes, internet sweepstakes cafes, cybercafés, sweepstakes cafes, or arcade amusement centers.

Emergency clinic: A facility providing medical, psychiatric, or surgical service for sick or injured persons exclusively on an out-patient basis, including emergency treatment, diagnostic services, training, administration, and services to outpatients, employees, or visitors. The term "clinic" includes immediate care facilities, where emergency treatment is the dominant form of care provided at the facility.

9.11. DRIVEWAY CONNECTION REQUIREMENTS.

9.11.1.1. No driveway connection shall be allowed within forty (40) feet of the intersection of right-of-way lines of any public or private street. In developments or zoning districts where allowable lot widths are less than fifty (50) feet, this requirement may be waived by the Administrator as warranted.

9.11.1.2. No driveway connection at its widest point (including the apron) shall be closer than two (2) feet to the property line extended to the pavement, unless part of a flag lot.

9.11.1.3. In order to promote the safety of motorists and pedestrians and to minimize traffic congestion and conflict by reducing the magnitude of and the points of contact, the following regulations shall apply;

9.11.1.3.1. For residential uses, a driveway or other opening for vehicles onto a public or private street, shall not exceed twenty-four (24) feet in width at the property line, except as otherwise provided in this section.

9.11.1.3.2. For commercial or industrial uses, driveways or access points for vehicles onto a public or private street, shall not exceed thirty (30) feet in width at the property line; however, greater width may be permitted by the Administrator based upon an acceptable traffic engineering analysis.

9.11.1.3.3. The maximum number of points of access permitted onto any one street shall be as follows:

Table 9.11.1.3.3 - Maximum Number of Access Points	
Lot Width Abutting Street	Number of Access Points
<i>Arterial Street (Per Table 9.4.2 of Transportation Technical Manual)</i>	
Less than two hundred (200) feet	One (1)
Two hundred (200) feet and over	Two (2) Maximum
<i>Collector Street (Per Table 9.4.3 of Transportation Technical Manual)</i>	
Less than one hundred twenty (120) feet	One (1)
One hundred twenty (120) feet and over	Two (2) Maximum
<i>Other Streets</i>	
Less than sixty-five (65) feet	One (1)
Sixty-five (65) feet and over	Two (2) Maximum

9.11.1.3.4. The number of points of access per lot shall be no more than two (2). On corner lots, there shall be one access allowed per frontage for a total maximum of two (2).

9.11.1.4. The Administrator may approve a greater number of access points based upon the need for emergency access or traffic engineering analysis.

(Res. No. 35-2016, § 1(exh. F), 10-25-2016; Res. No. 9-2018, § 1 (exh. B), 5-22-2018)

City of Titusville
"Gateway to Nature and Space"

REPORT

To: Members of the Board of Adjustment and Appeals
From: Bradley Parrish, Community Development Director
Subject: **Semi-Annual Report**
Department/Office: Development Services

Recommended Action:

Approve Semi-Annual Report as written.

Summary Explanation & Background:

Alternatives:

Item Budgeted:

Source/Use of Funds/Budget Book Page:

Strategic Plan:

Strategic Plan Impact:

ATTACHMENTS:

1. Semi-Annual Updates Fall 2025

Board of Adjustments and Appeals Semi-Annual Report

Items Reviewed Between July 2025 - December 2025

Var. No.	Description	Date of Decision
#17-2025	A variance to Land Development Regulations Chapter 28, Section 28-317 to allow less than the required 10-foot interior side yard setback for a primary structure for property located at 109 Fisher Avenue - WITHDRAWN.	8/27/2025
#18-2025	A variance to Land Development Regulations Chapter 28, Section 28-391(c) to allow the cumulative area of all accessory buildings or structures to exceed fifty (50) percent of the square foot area of the principal structure. The variance was approved to allow the cumulative area of all accessory buildings or structures to equal up to sixty-five (65) percent of the square foot area of the principal structure, not to exceed a total of 1,825 square feet for property located at 1576 S. Park Avenue - APPROVED.	7/23/2025
#19-2025	A variance to Land Development Regulations Chapter 28, Section 28-303(c) to allow less than the required 30-foot front yard setback for a primary structure for property located at 2671 Sussana Lane - APPROVED.	8/27/2025
#20-2025	A variance to Land Development Regulations Chapter 30, Section 30-182(a)(3)(a) to allow a high security fence to be more than eight (8) feet in height above grade for property located at 1850 S. De Leon Avenue - APPROVED WITH CONDITION.	8/27/2025
#21-2025	A variance to Land Development Regulations Chapter 28, Section 28-307(c) to allow the building coverage to exceed the maximum fifty (50) percent on lots for property located at Parcel ID #21-35-32-64-5 - APPROVED.	8/27/2025
#22-2025	A variance to Land Development Regulations Chapter 28, Section 28-391(g)(2) to allow less than the required 10-foot interior side yard setback for a pool enclosure for property located at 2730 Hillcrest Avenue - APPROVED WITH CONDITION.	9/24/2025
#23-2025	A variance to Land Development Regulations Chapter 28, Section 28-306(c) to allow less than the required 20-foot side corner yard setback and Chapter 28, Section 28-391(g)(2) to allow less than the required 5-foot interior side yard setback for a detached accessory structure for property located at 1525 Bunker Hill Court - DENIED.	12/8/2025
#24-2025	A variance to Land Development Regulations Chapter 28, Section 28-321(c) to allow less than the required 50-foot front yard setback, less than the required 50-foot rear yard setback, less than the required 25-foot interior side yard setback for a primary structure and to exceed the required 20 percent maximum building coverage for property located at Parcel ID # 22-35-05-00-93 - APPROVED.	12/8/2025

